

RAD RENOVATION SILVER CREEK MANOR AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON ST. CLAIR COUNTY HOUSING AUTHORITY ST. CLAIR COUNTY, ILLINOIS

IFB-25-B001

ARCHITECT / ENGINEER :



Hurst-Rosche, Inc.
PROFESSIONAL DESIGN NUMBER: 184-000298

NO. 5 BANK SQUARE
EAST ST. LOUIS, IL
PH: 618.398.0890
www.hurst-rosche.com
HILLSBORO, IL
MARION, IL
SPRINGFIELD, IL
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NASHVILLE, TN



AREA LOCATION MAP



ISSUED FOR BID

DATE:
APRIL 14, 2025

HR# 280-0385



Hurst-Rosche, Inc.
PROFESSIONAL DESIGN NUMBER: 184-00298

1400 E. TREMONT STREET
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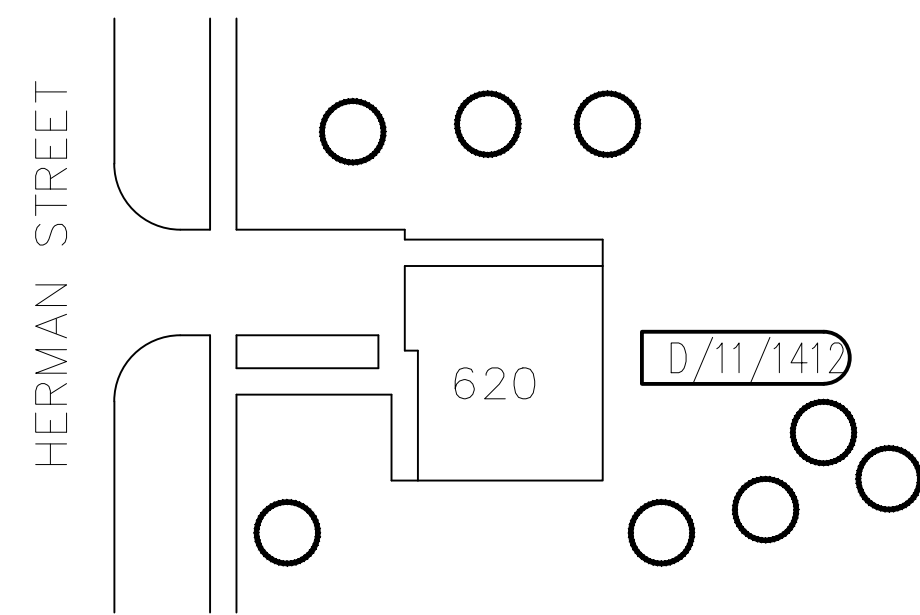
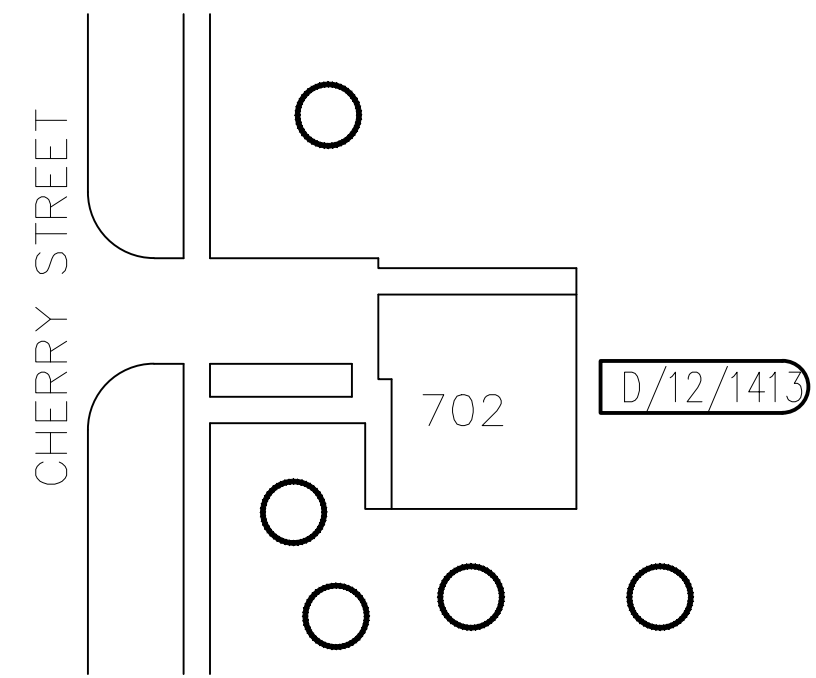
FAMILY UNITS				
# OF BEDROOMS	1 BR	2 BR	3 BR	TOTAL
# OF UNITS	4	12	8	24

LEBANON IL30-14 GARDENWOOD APTS.								
AMP	EIOP	BUILDINGS			DWELLING UNITS			
		TOTAL	ELDERLY	OUT BLDGS.	TOTAL	FAMILY	LRG. FAMILY	ELDERLY
5	3/31/81	13	0	0	24	16	8	0

UNIT AREA SCHEDULE	
30-14 Lebanon; Gardenwood Apts.	FLOOR AREA
A1 bedroom	
First	865 sqft
B2, C2 bedroom	
First	1,012 sqft
D3 bedroom	
First	1,000 sqft
Second	630 sqft

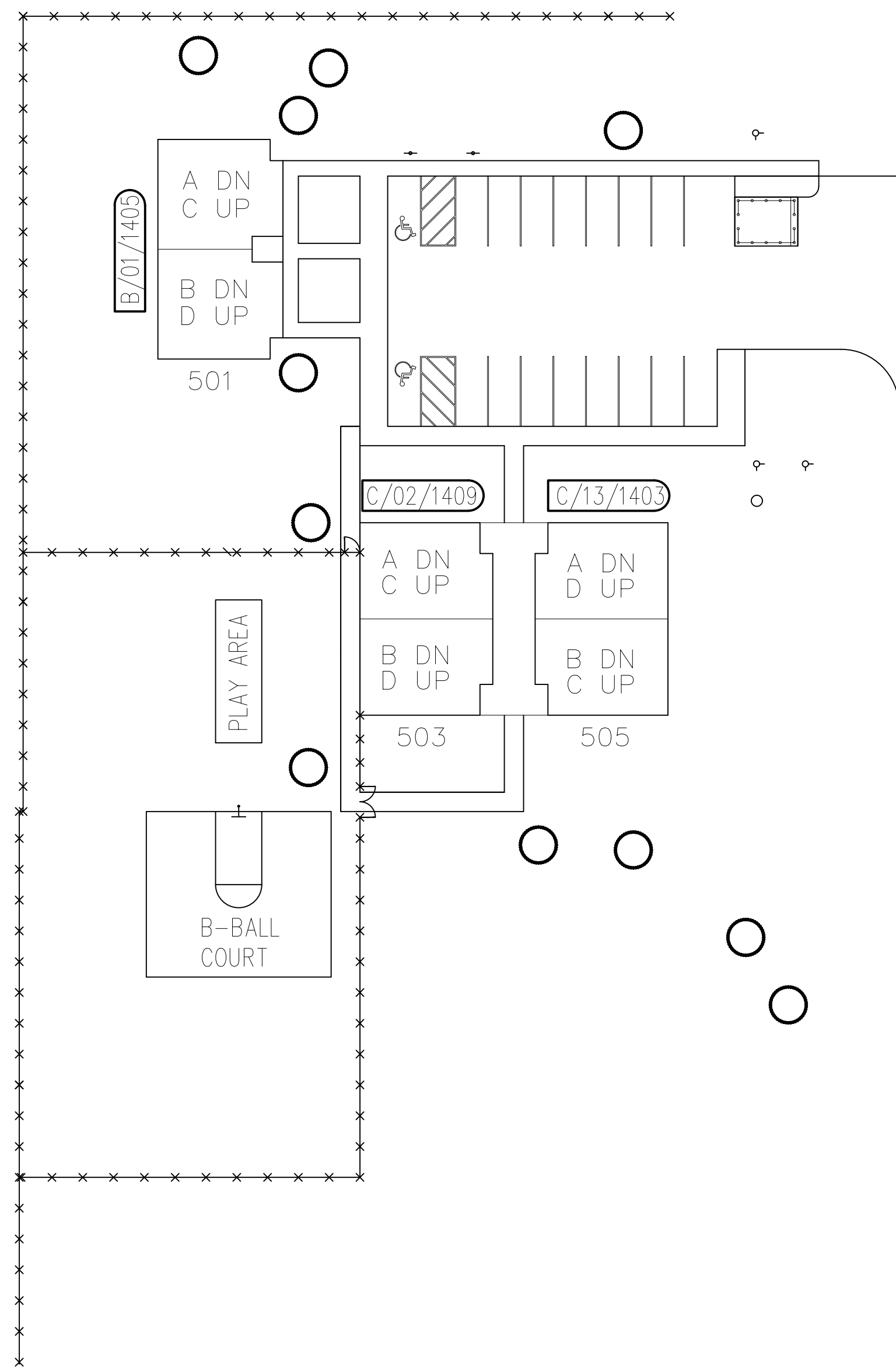
UNIT ACCESSIBILITY SCHEDULE		
Address	Apartment #	Code
30-14 Lebanon; Gardenwood Apts.		
East Randle Street	113	M
501 South Plum Street	A	WHV
501 South Plum Street	B	WHV

LEGEND
M - MOBILITY H - HEARING
V - VISION W - WHEELCHAIR

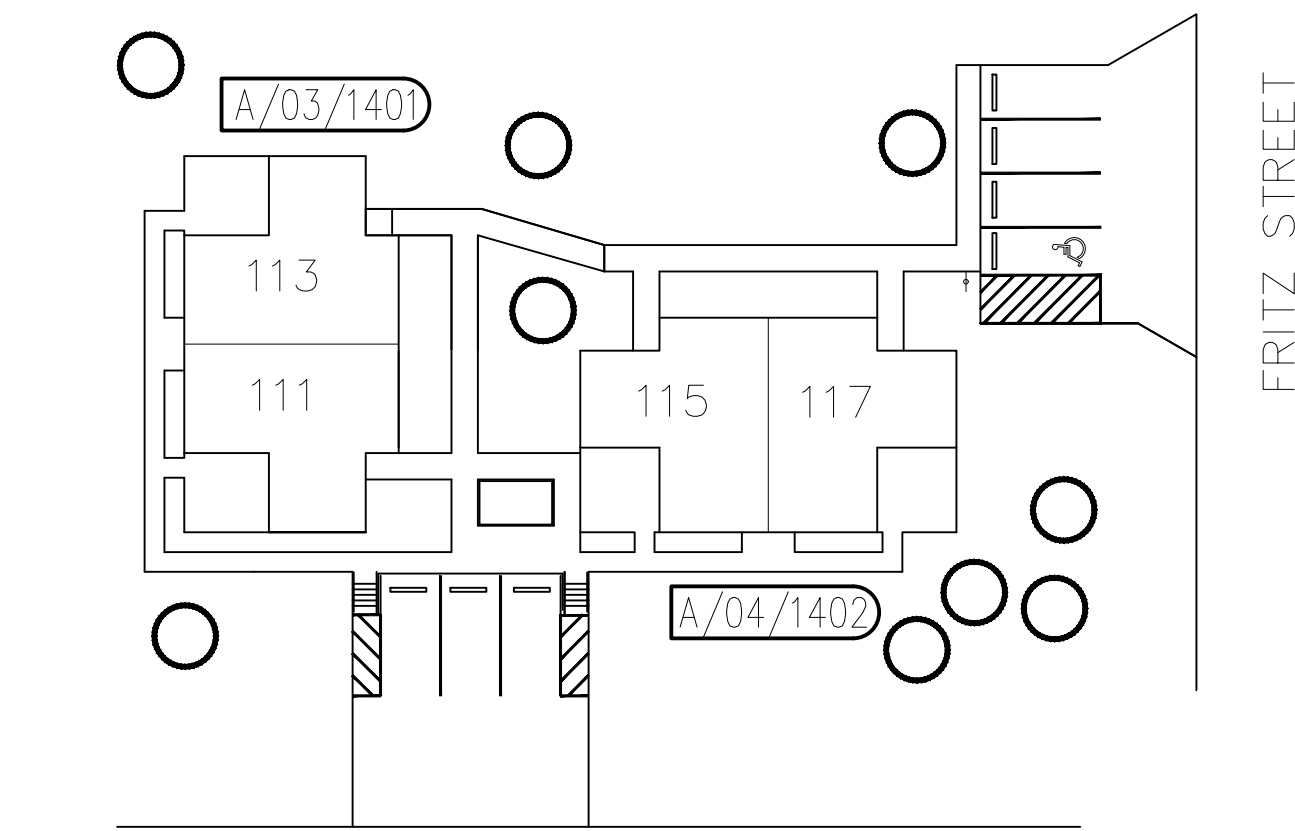


NORTH
SITE PLAN LEBANON IL30-14
SCALE: 1/32" = 1'-0"

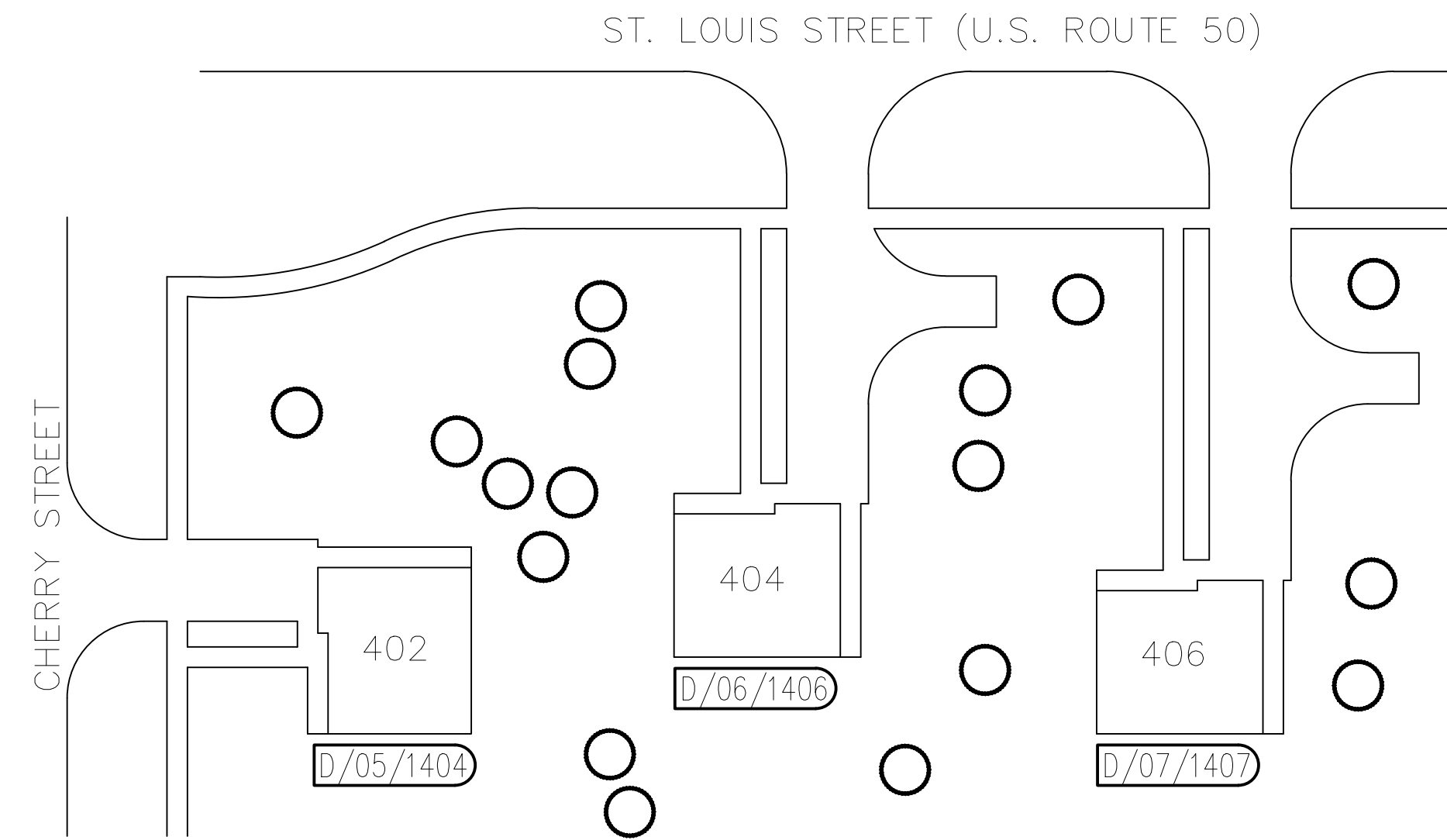
NORTH
SITE PLAN LEBANON IL30-14
SCALE: 1/32" = 1'-0"



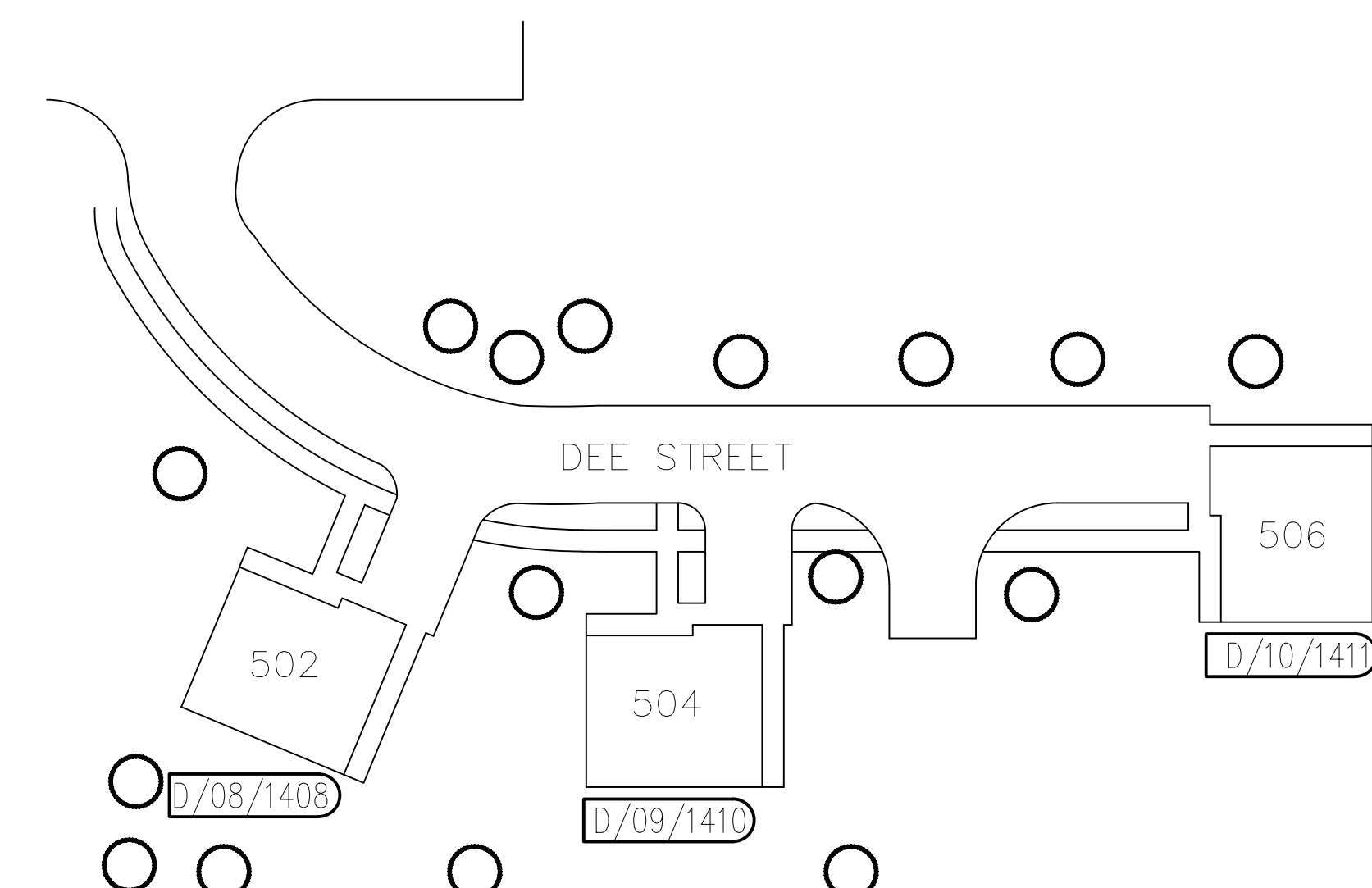
NORTH
SITE PLAN LEBANON IL30-14
SCALE: 1/32" = 1'-0"



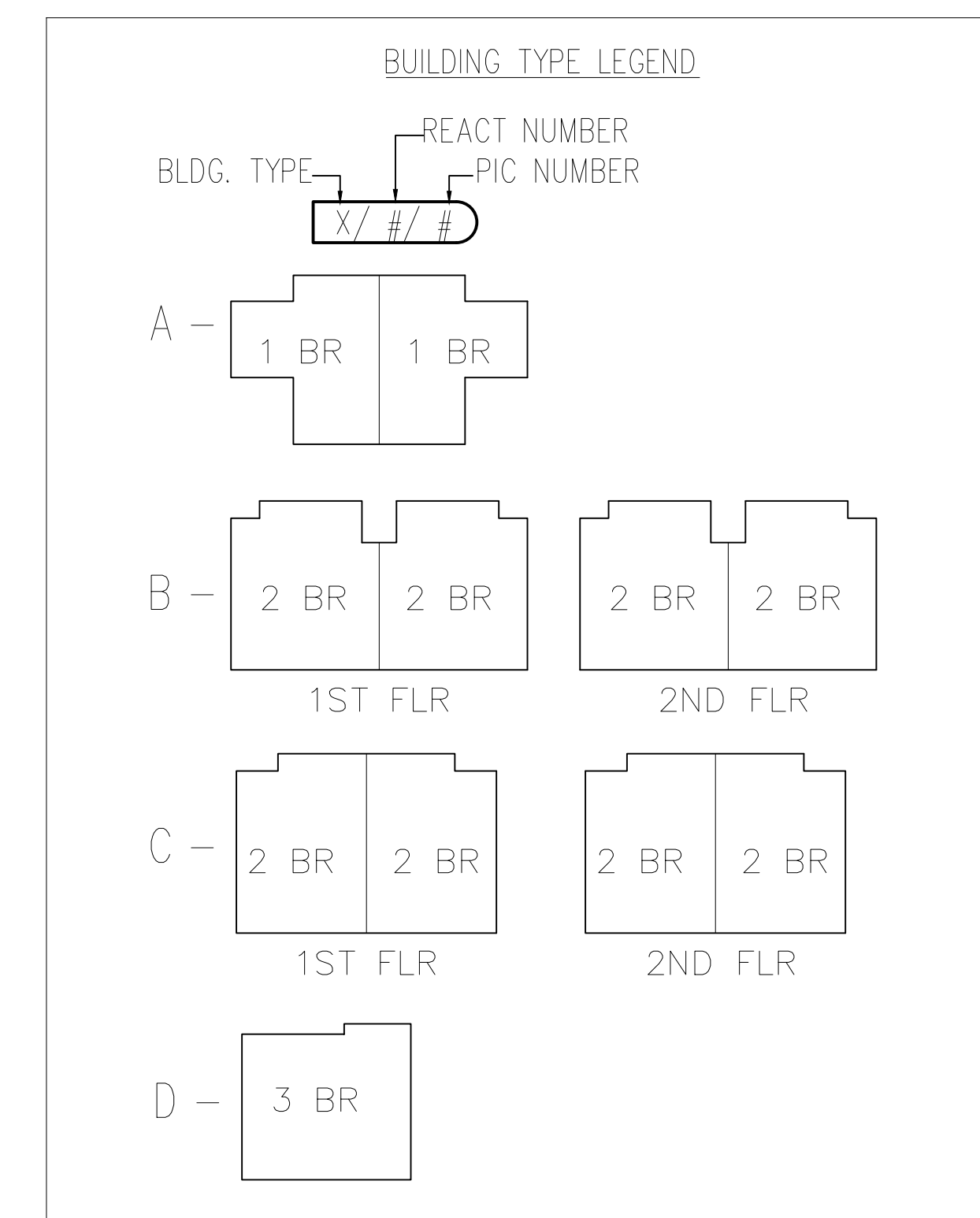
NORTH
SITE PLAN LEBANON IL30-14
SCALE: 1/32" = 1'-0"



NORTH
SITE PLAN LEBANON IL30-14
SCALE: 1/32" = 1'-0"



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SITE PLAN LEBANON IL30-14
SCALE: 1/32" = 1'-0"



SIGNATURE
xx-xx-2025
DATE
11-30-2026
LICENSE EXPIRES

RAD RENOVATION SILVER CREEK MANOR
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON
ST. CLAIR COUNTY HOUSING AUTHORITY
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

DATE: 04-14-2025
PROJECT NO: 280-0385
DESIGN: JLV DRAWN: JSM CHECK: BGE
IL30-14 LEBANON SITE PLAN

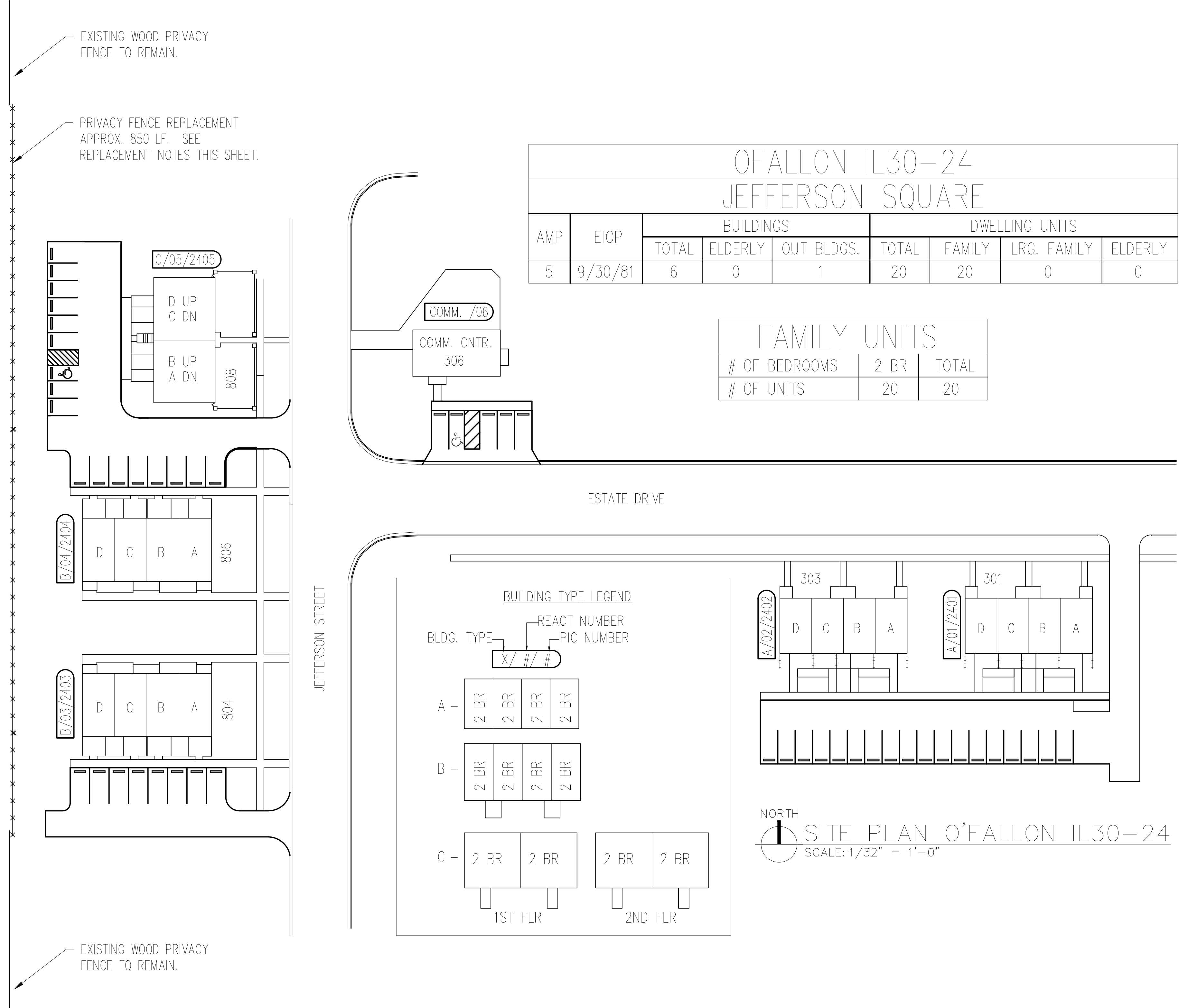
C-101



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OFALLON IL30-24 JEFFERSON SQUARE								
AMP	EIOP	BUILDINGS			DWELLING UNITS			
		TOTAL	ELDERLY	OUT BLDGS.	TOTAL	FAMILY	LRG. FAMILY	ELDERLY
5	9/30/81	6	0	1	20	20	0	0

FAMILY UNITS		
# OF BEDROOMS	2 BR	TOTAL
# OF UNITS	20	20

BUILDING TYPE LEGEND

BLDG. TYPE REACT NUMBER
 PIC NUMBER

X / # / #

A -	2 BR	2 BR	2 BR	2 BR
B -	2 BR	2 BR	2 BR	2 BR
C -	2 BR	2 BR	2 BR	2 BR

1ST FLR 2ND FLR

PRIVACY FENCE REPLACEMENT NOTES

AT REAR OF 301 AND 303 ESTATE STREET, REMOVE AND REPLACE 1"x6"x7'-0" ALTERNATING SLATS WOOD PRIVACY FENCE PANELS. PRESERVE AND REUSE EXISTING 4"x4" WOOD POSTS IN PLACE. PRESERVE WOOD FENCE PANELS WITH WEATHER RESISTANT WOOD TREATMENT. (SOME SMALL TREE AND BRUSH REMOVAL REQUIRED.)

UNIT AREA SCHEDULE

UNIT TYPE	FLOOR AREA
30-24 O'Fallon; Jefferson Square	
A2 bedroom	
First	410 sqft
Second	410 sqft
B2 bedroom	
First	475 sqft
Second	475 sqft
C2 bedroom	
First	950 sqft
Comm. Center	
First	1,400 sqft

UNIT ACCESSIBILITY SCHEDULE

Address	Apartment #	Code
30-24 O'Fallon; Jefferson Square Apts.	A	WHV
808 East Jefferson St	A	WHV

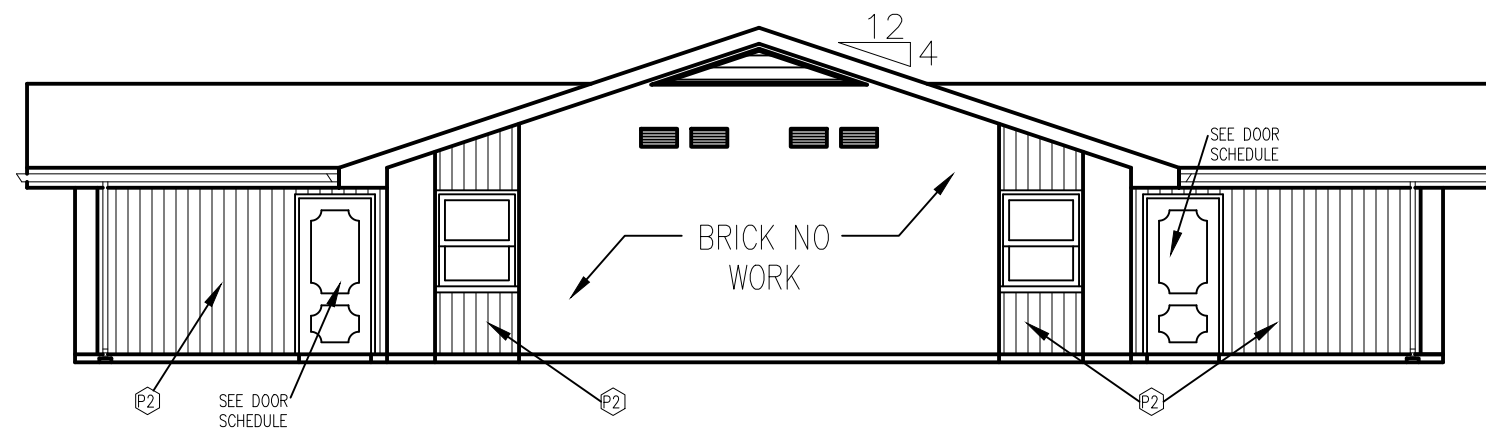
LEGEND
M - MOBILITY H - HEARING
V - VISION W - WHEELCHAIR

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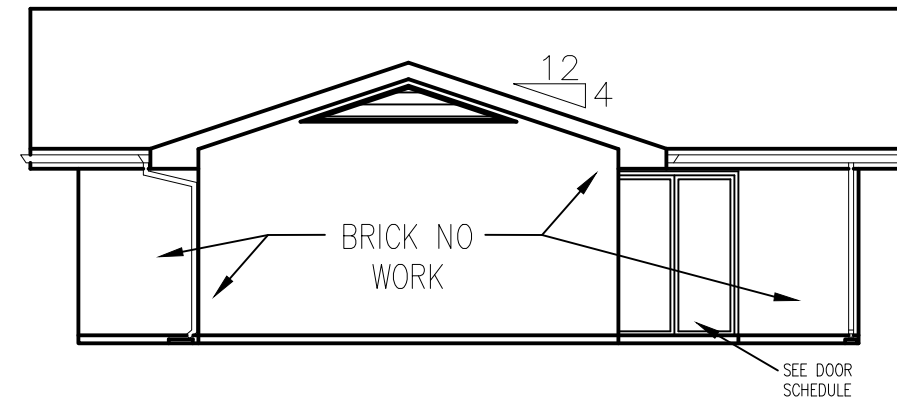
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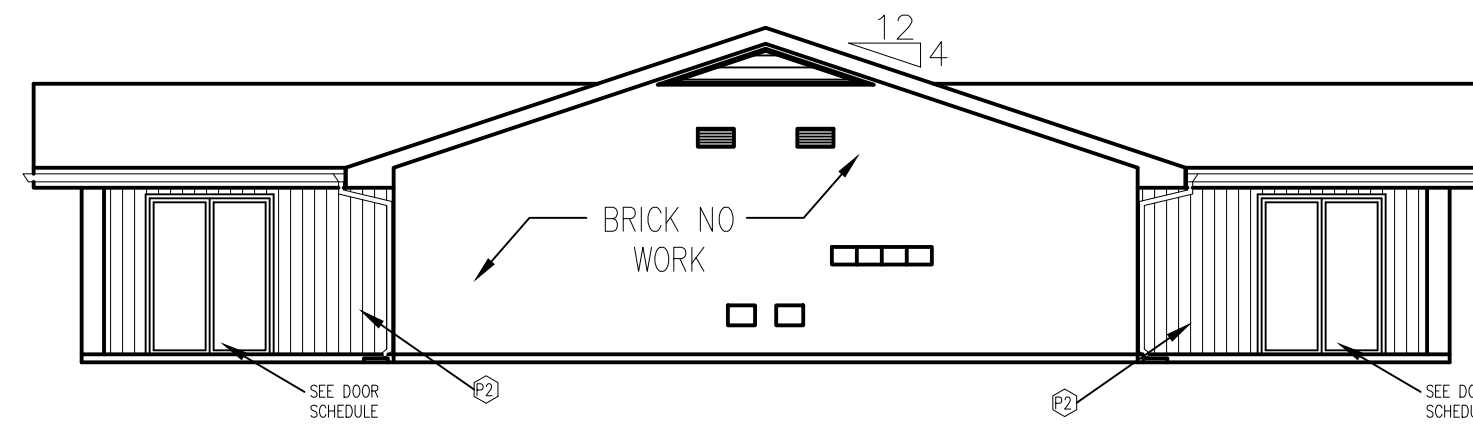
IL30-24 O'FALLON SITE PLANS



FRONT ELEVATION BLDG. TYPE "A"
SCALE: 1/8"=1'-0"



SIDE ELEVATION BLDG. TYPE "A"
SCALE: 1/8"=1'-0" (OPPOSITE SIDE REVERSE)



REAR ELEVATION BLDG. TYPE "A"
SCALE: 1/8"=1'-0"

FLOORING KEY NOTES [F#]

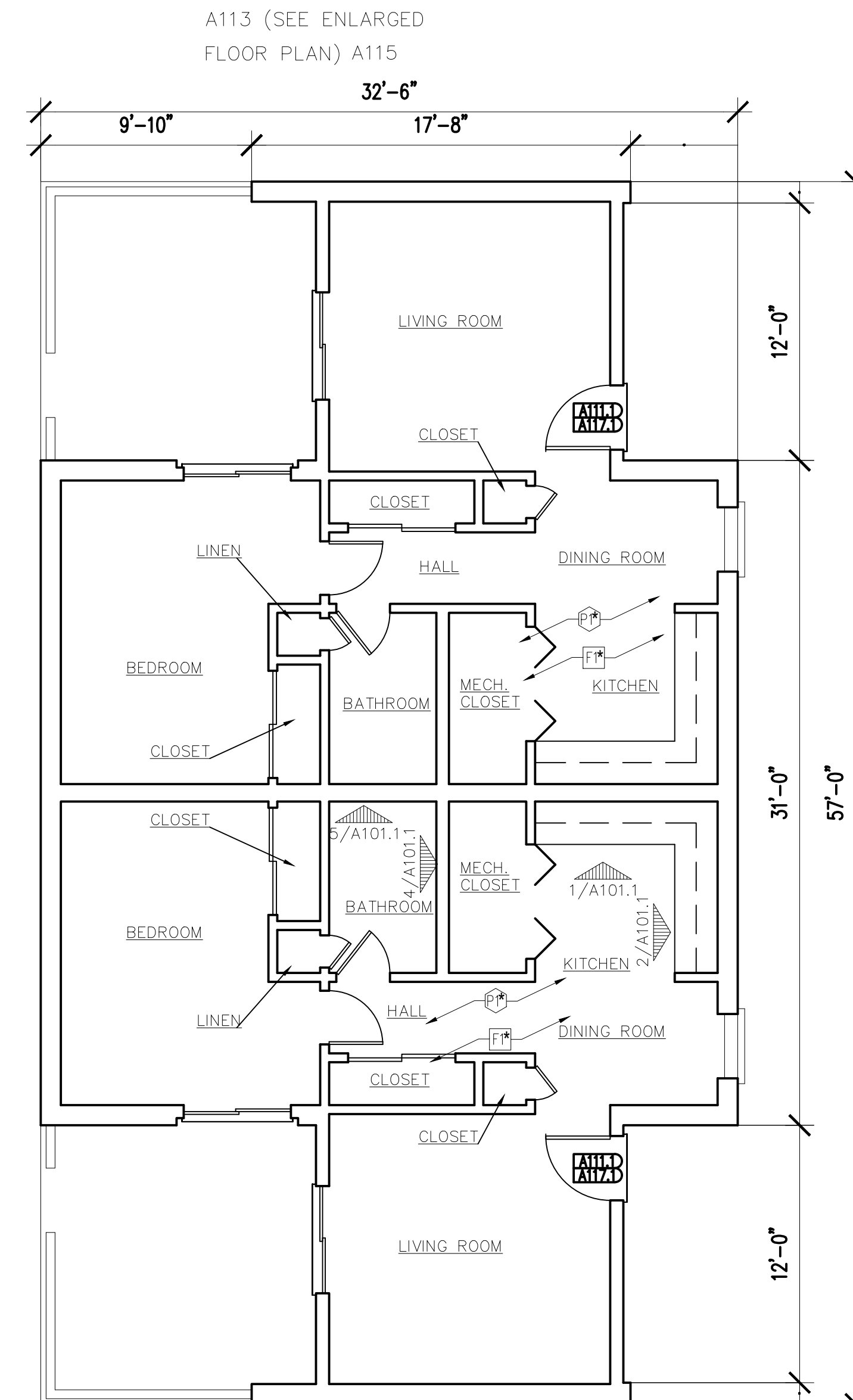
1. REMOVE AND DISPOSE OF EXISTING FLOORING, BASE AND MASTIC THROUGHOUT UNIT. INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.

* = THROUGHOUT UNIT, TYPICAL.

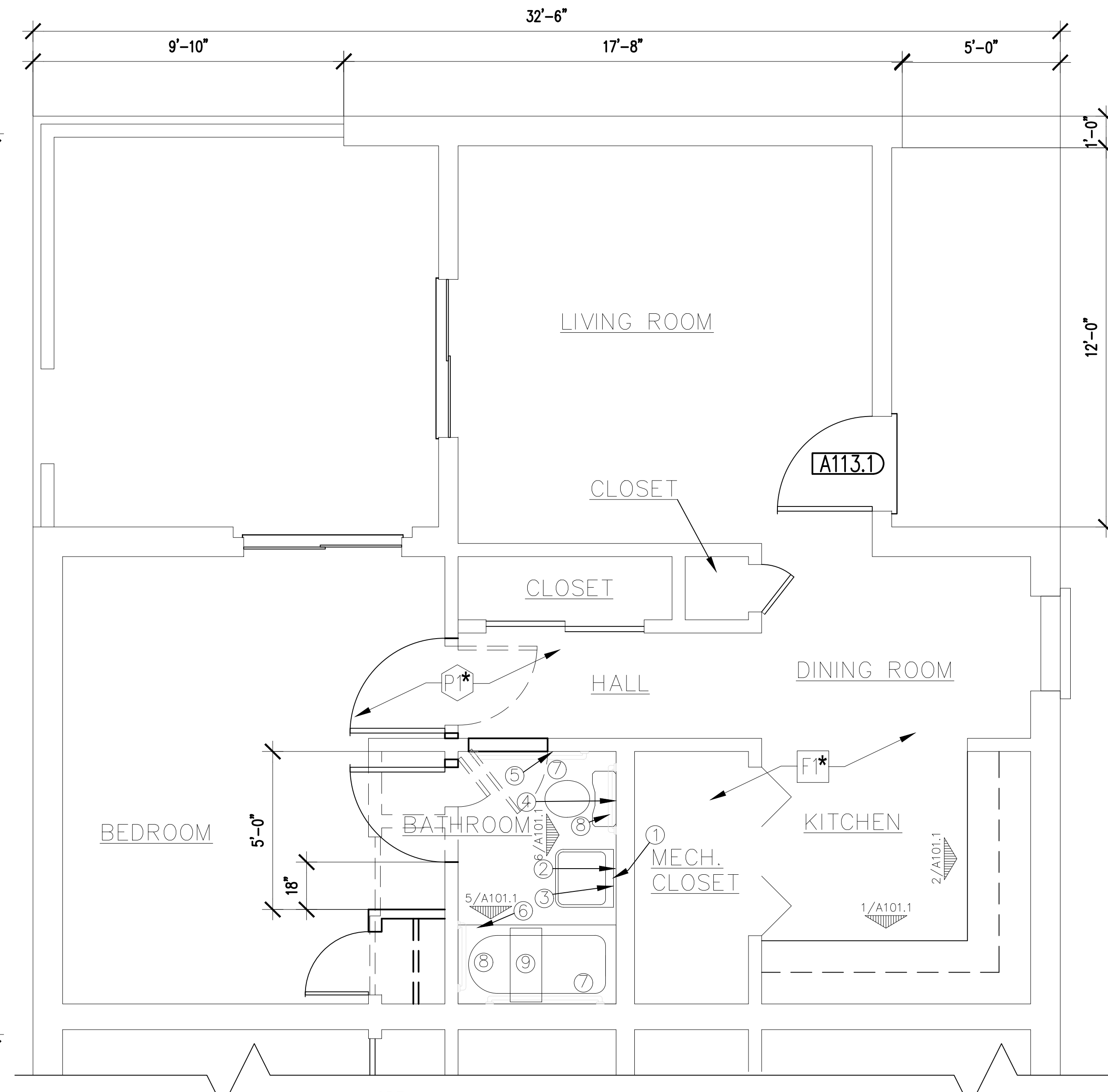
PAINTING KEY NOTES [P#]

1. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH) @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL, ALLOW 50SQFT PER DWELLING UNIT.
2. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS & SIDING AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
3. ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.

* = THROUGHOUT UNIT, TYPICAL.



1 FLOOR PLAN BUILDING TYPE "A"
A-101 SCALE: 3/16"=1'-0"



2 ENLARGED PLAN (UNIT A113 ONLY)
A-101 SCALE: 3/8"=1'-0"

GENERAL NOTES:

1. REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES - INSTALL NEW AS SHOWN ON A#01 SHEET FOR BUILDING TYPE, TYPICAL.
2. REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#01 SHEET FOR BUILDING TYPE, TYPICAL.
3. FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
4. SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
6. COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
7. ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
8. WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
9. ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
10. ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
11. ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
12. PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
13. COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.

DOOR SCHEDULE

DOOR NO.	SIZE (F.V.) FIELD VERIFY SIZES AND THICKNESS			DOOR			FRAME			LABEL	HWARE GROUP	DETAILS			REMARKS
	WIDTH	HEIGHT	THICK	(F.V.) MATERIAL	FINISH	ELEV.	(F.V.) MATERIAL	FINISH	ELEV.			HEAD	JAMB	SILL	
A111.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
A113.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
A117.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
SLIDER	6'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.



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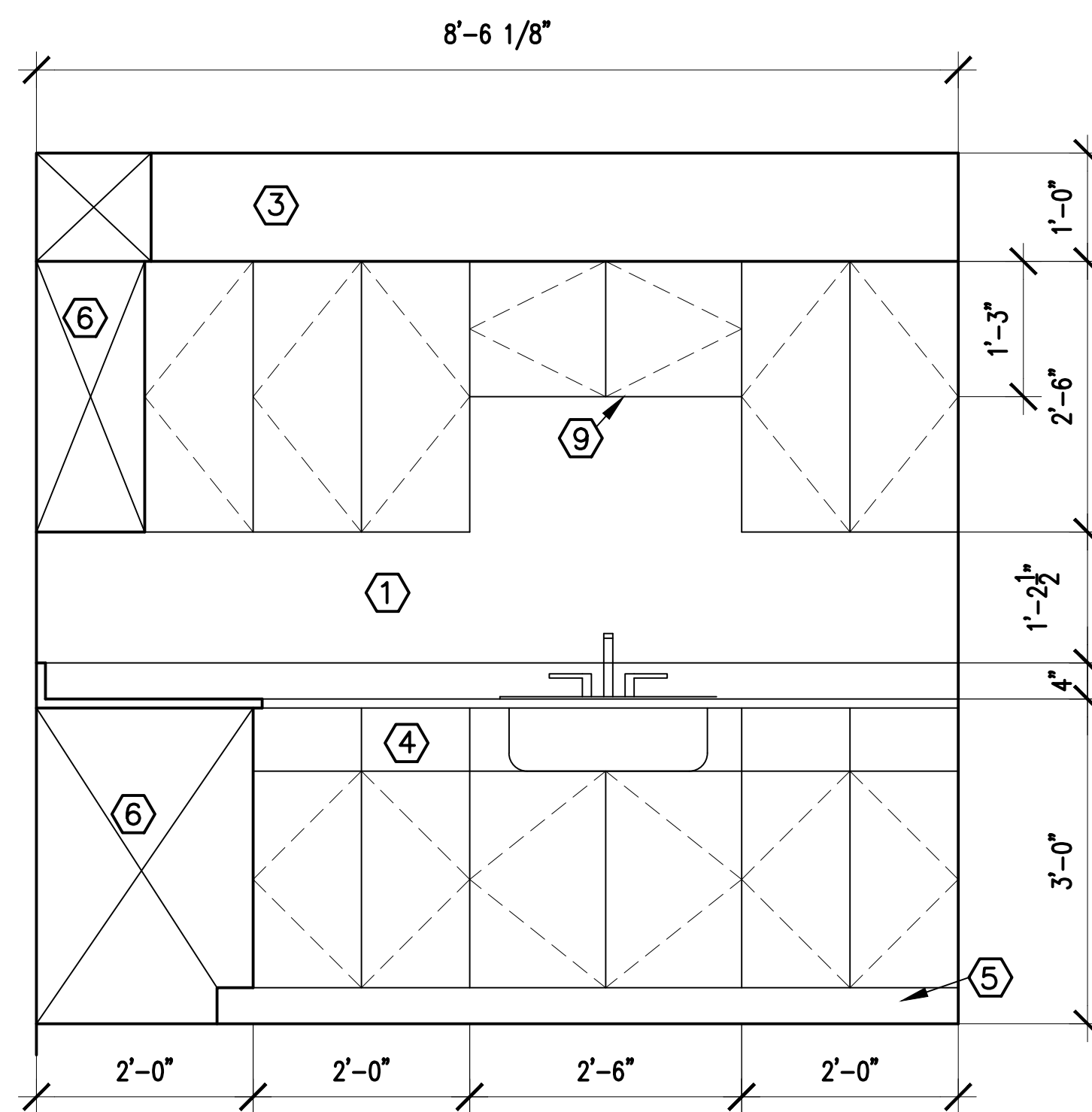
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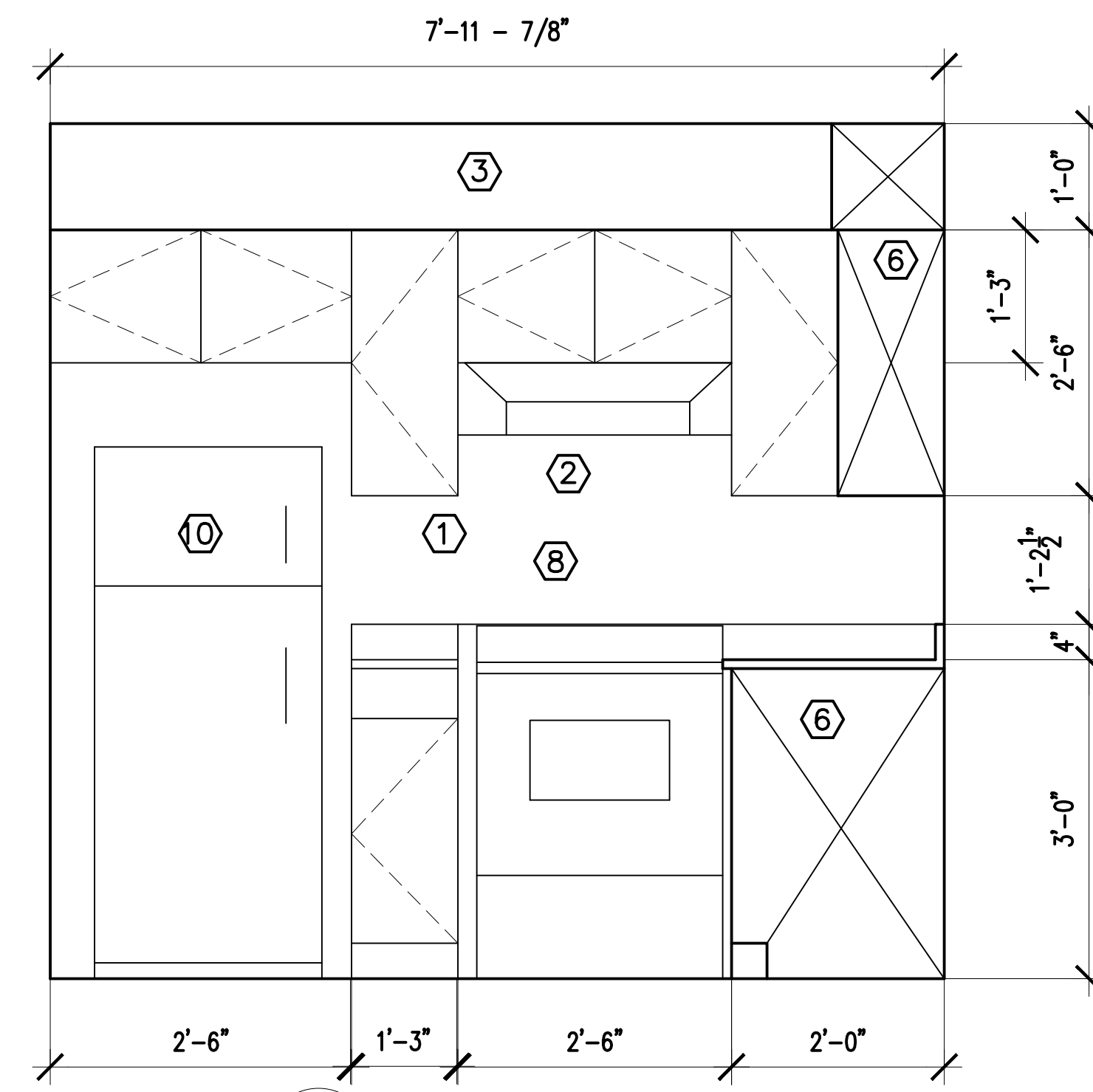
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IL30-14 LEBANON
BUILDING TYPE "A"
PLANS AND ELEVATIONS

A-101



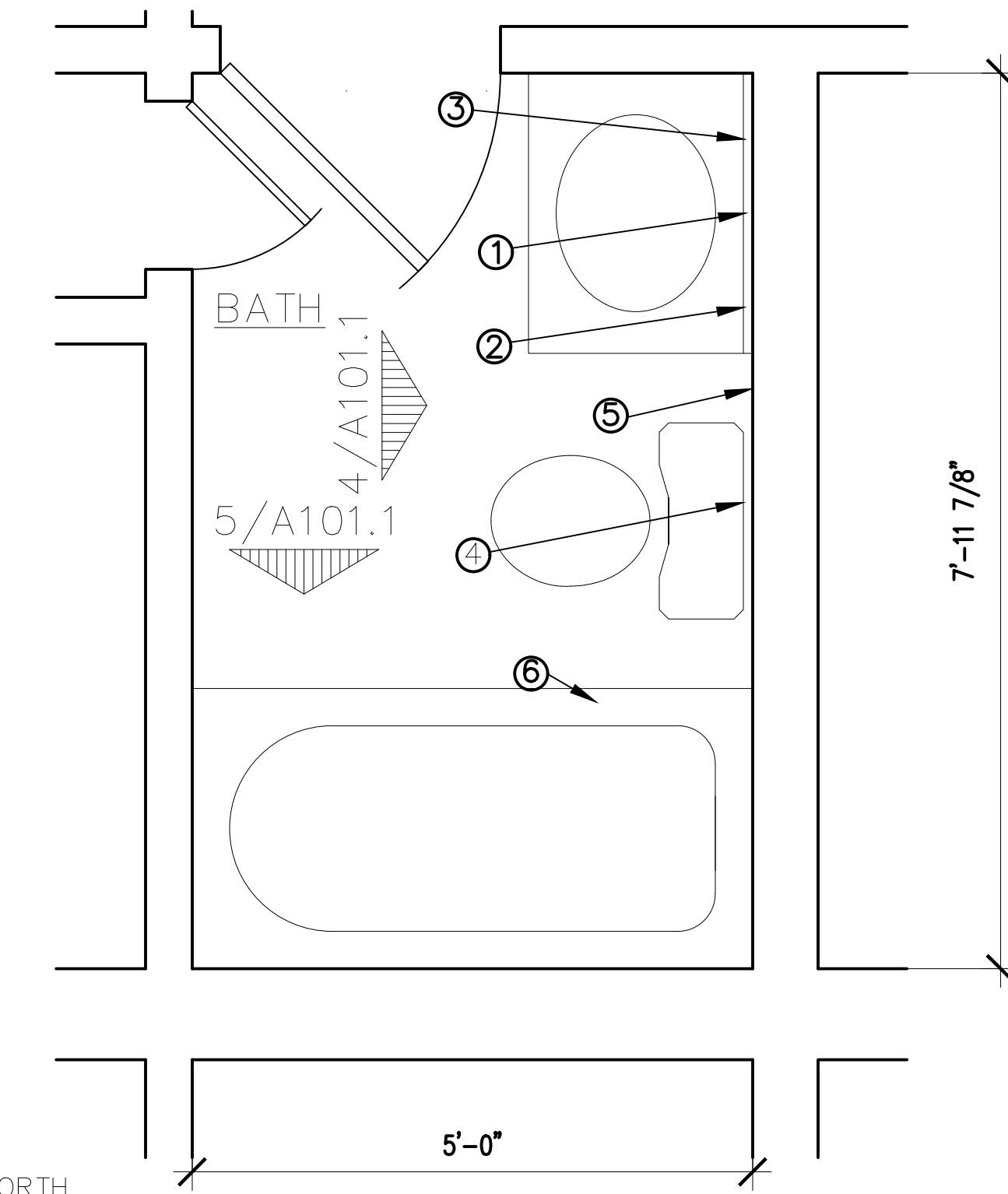
1 CASEWORK ELEV.
A101.1 SCALE: 3/4"=1'-0"



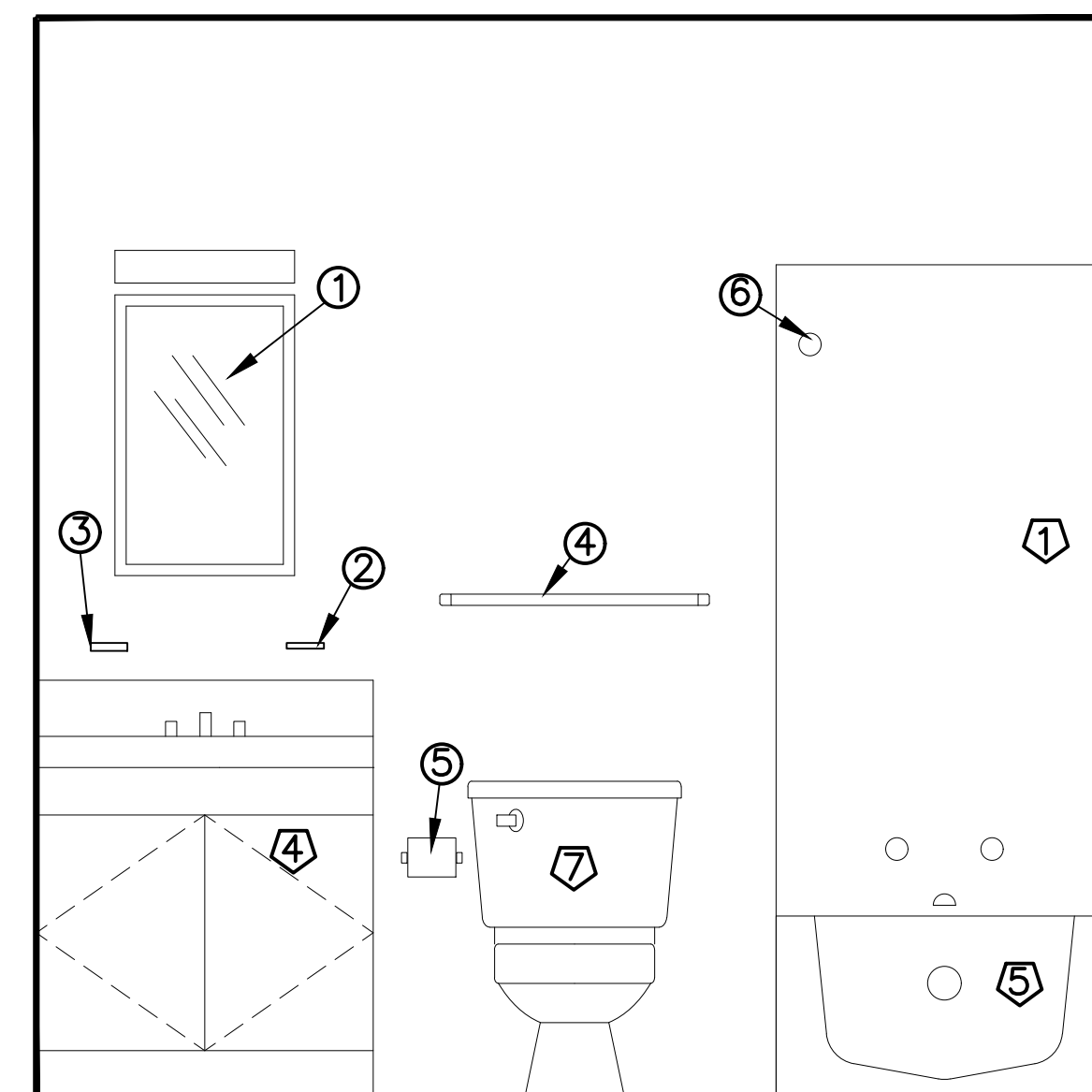
2 CASEWORK ELEV.
A101.1 SCALE: 3/4"=1'-0"

KITCHEN KEYED NOTES #

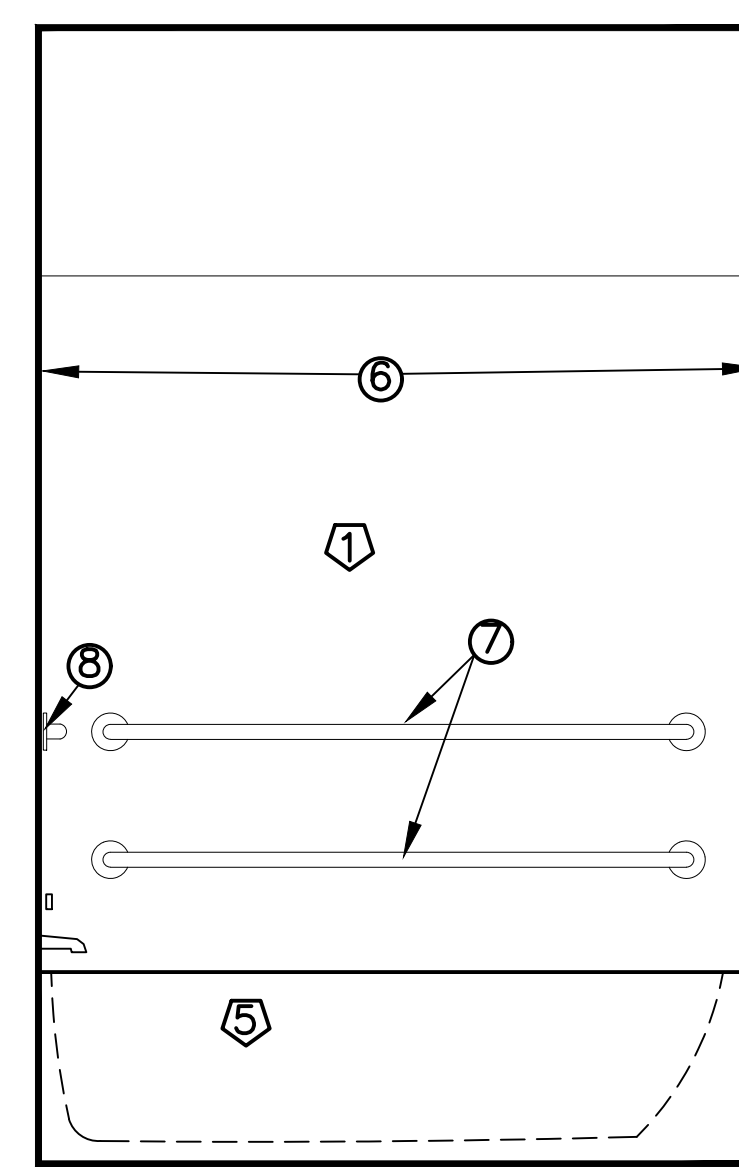
- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
- NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
- EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
- SINK BASE CABINET.
- 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
- FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
- FINISHED FILLER TO MATCH CABINET FINISH
- WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
- UNDER CABINET LIGHT. COORDINATE w/ ELECTRICAL. INSTALL ON CABINET SURFACE.
- REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.



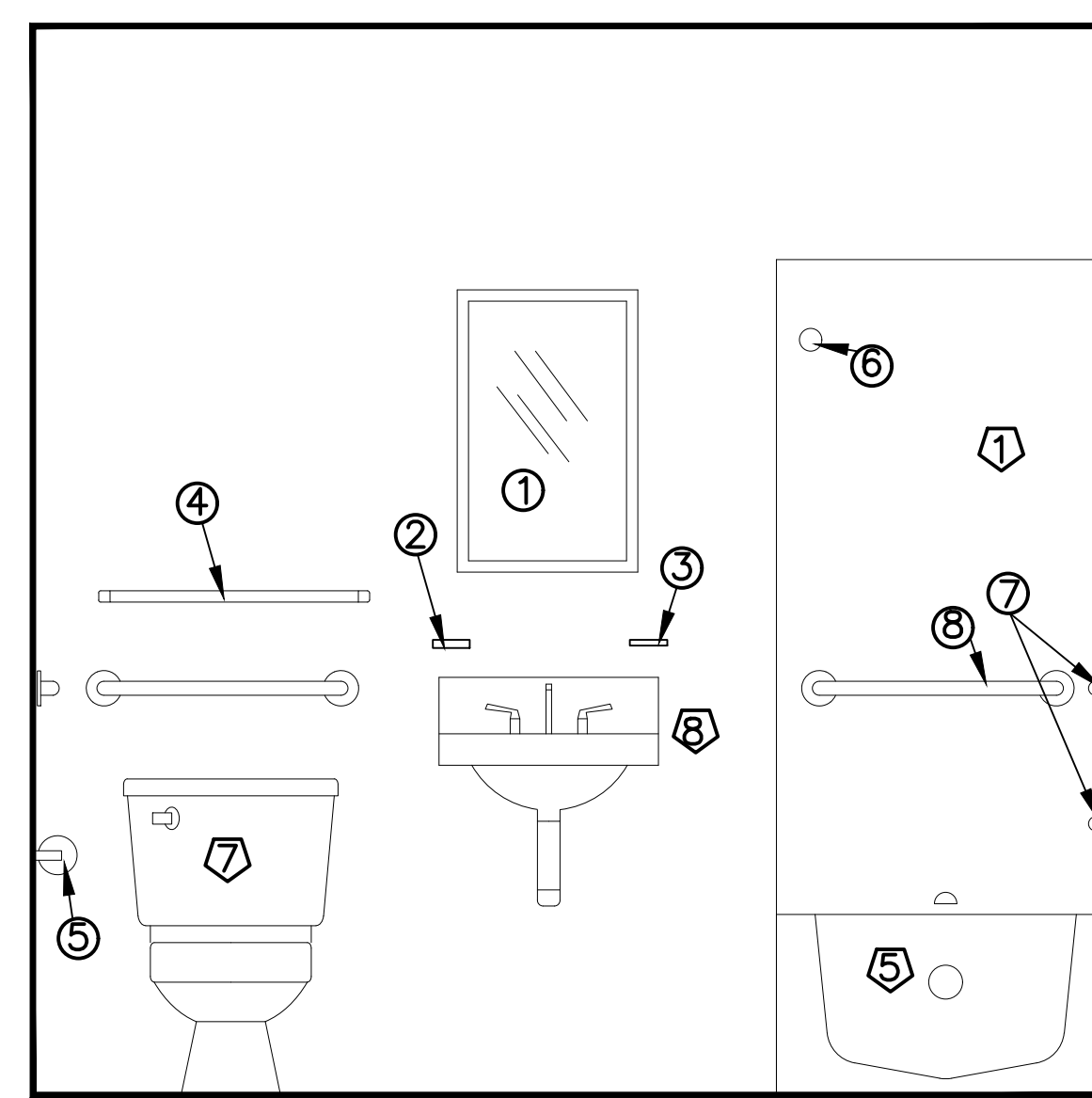
NORTH
ENLARGED BATHROOM PLAN
SCALE: 3/4"=1'-0"
(A111, A115, A117)



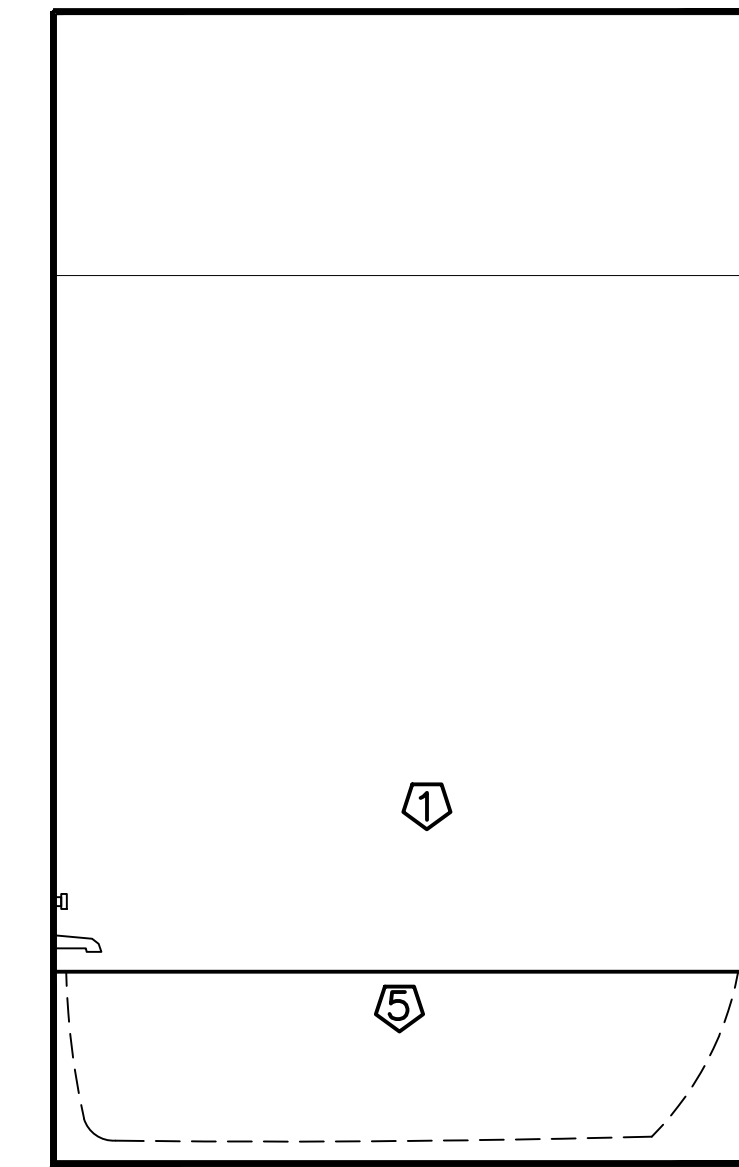
4 BATHROOM ELEV.
A101.1 SCALE: 3/4"=1'-0"



(UNIT A113 ONLY)
5 BATHROOM ELEV.
A101.1 SCALE: 3/4"=1'-0"



(UNIT A113 ONLY)
6 BATHROOM ELEV.
A101.1 SCALE: 3/4"=1'-0"



3 BATHROOM ELEV.
A-101 SCALE: 3/8"=1'-0"

TOILET/BATH KEY NOTES #

- TUB/SHOWER SURROUND w/CORNER SHELVEING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 3/8" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
- LIGHT FIXTURE - COORD. WITH ELECTRICAL
- 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
- VANITY CABINET w/CULTURED MARBLE. TOP w/INTEGRAL SINK.
- NEW TUB. - COORD. WITH PLUMBING
- ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL, THROUGHOUT UNIT, TYPICAL.
- NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
- NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.

KITCHEN GENERAL NOTES

- COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
- GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
- DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
- COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
- FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
- INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
- INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
- INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
- PROVIDE BACKSPLASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
- ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
- INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

TOILET/BATH ACCESSORIES SCHEDULE #

#	ITEM	DESCRIPTION	MOUNTING (A.F.F.)	REMARKS
1	M	WALL MOUNTED MIRROR (18" x 30")	40" TO BOTTOM	--
2	SD	SOAP DISH	40" TO TOP	--
3	CH	CUP HOLDER	40" TO TOP	--
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	--
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	--
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	--
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--
8	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--

TOILET/BATH ELEVATION GENERAL NOTES

- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
- PROVIDE BLOCKING IN WALLS FOR ANCHORING ALL ACCESSORIES WHERE REQUIRED IF NOT EXISTING.
- ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING AND ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
- PRIME AND PAINT ALL GYPSUM BOARD AND CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
- ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.



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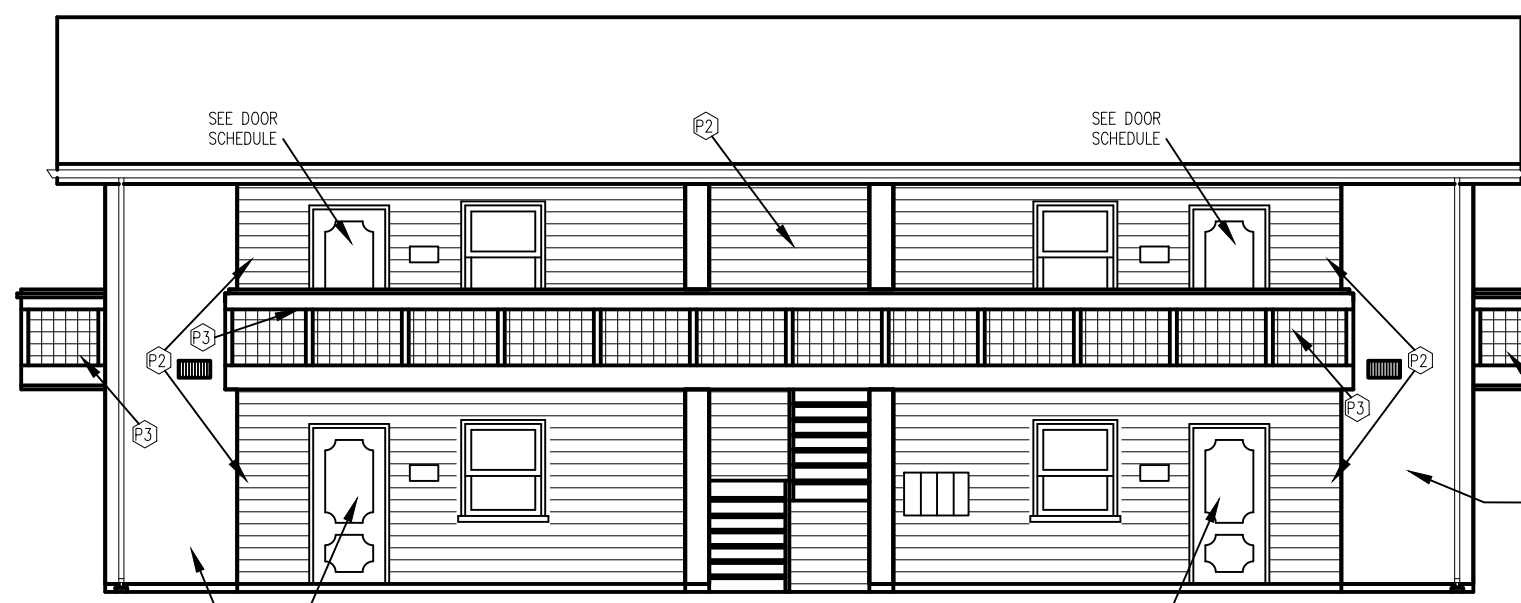
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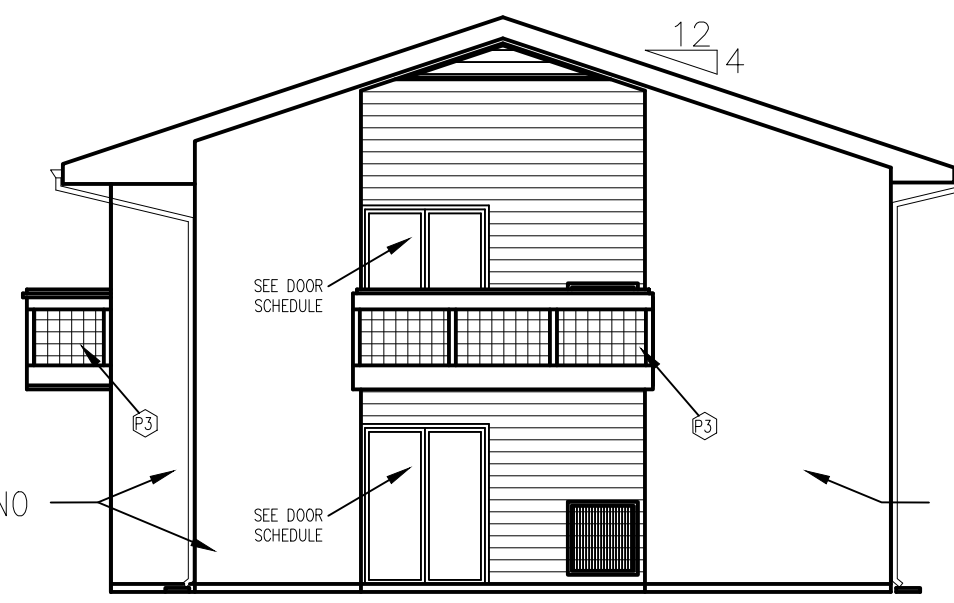
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IL30-14 LEBANON
BUILDING TYPE "A"
PLANS AND ELEVATIONS

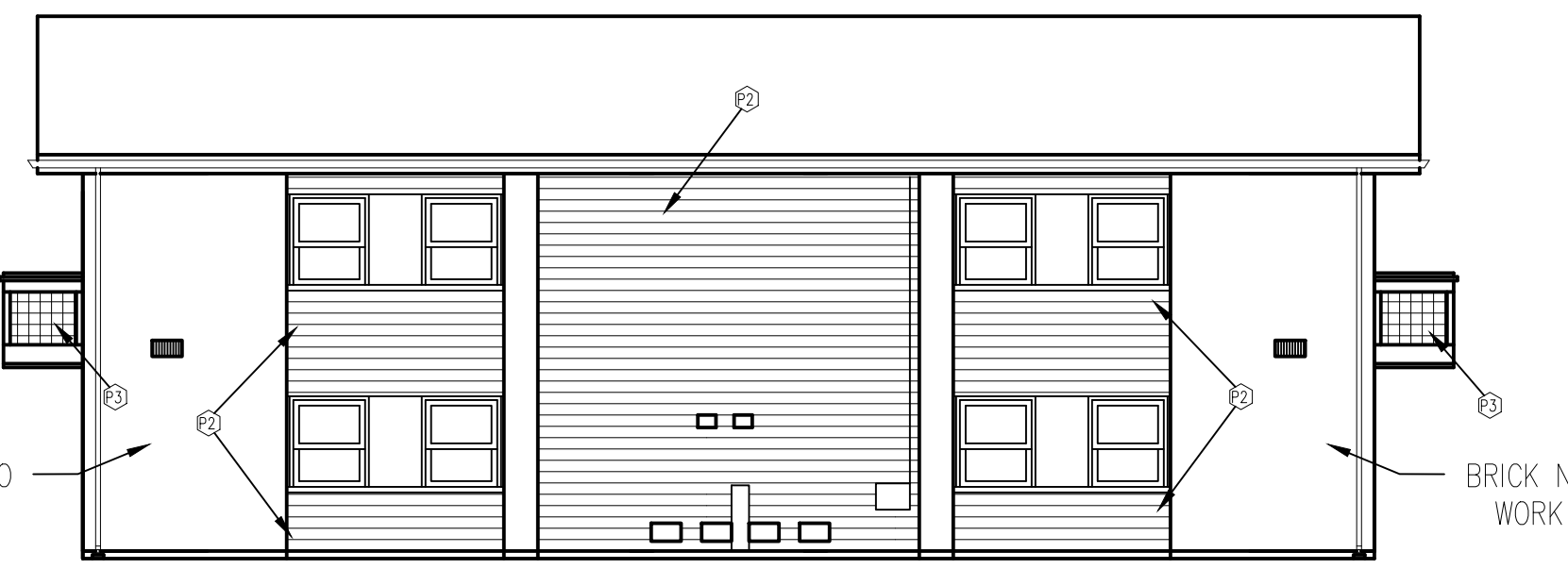
A101.1



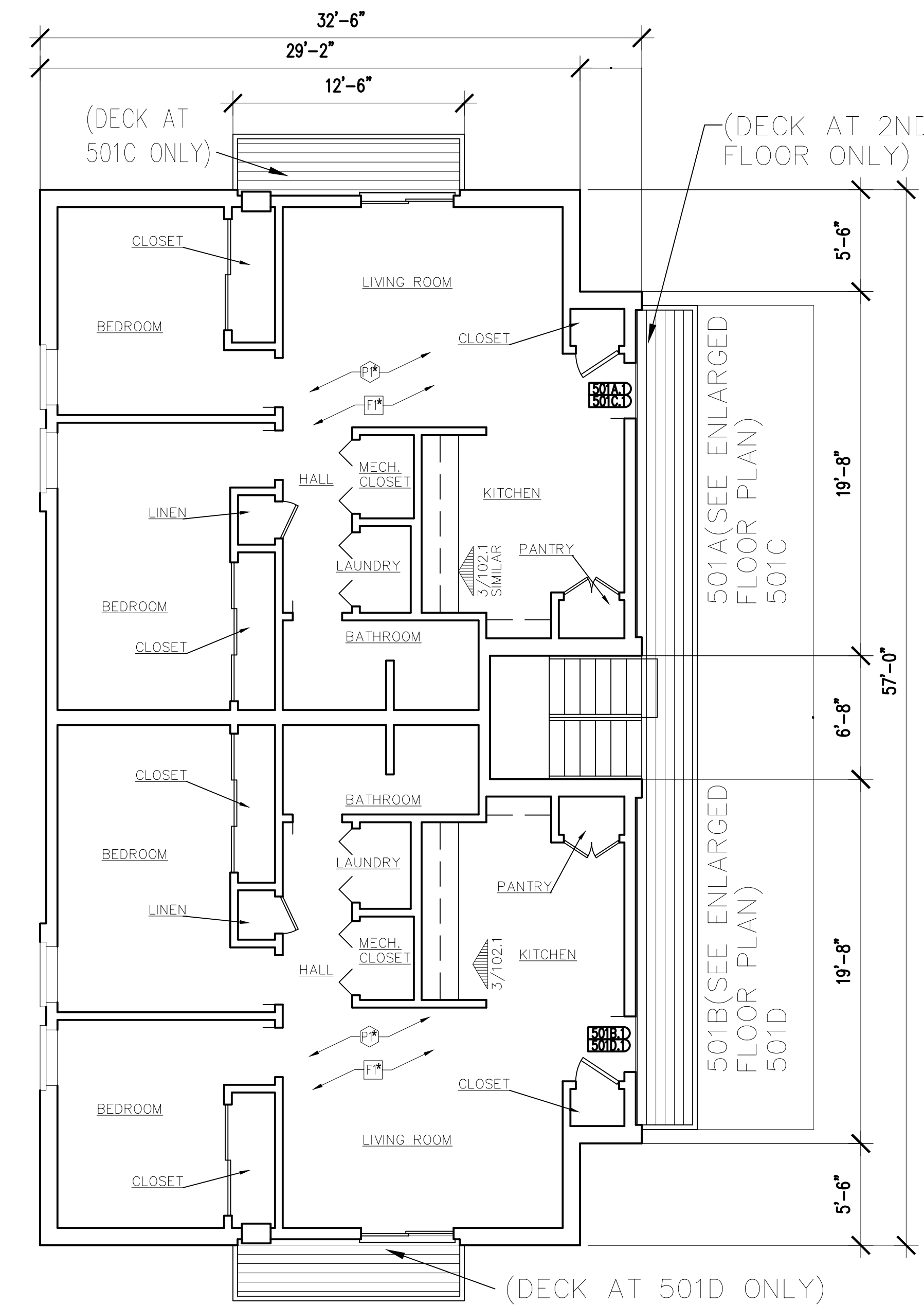
FRONT ELEVATION BLDG. TYPE "B"
SCALE: 1/8"=1'-0"



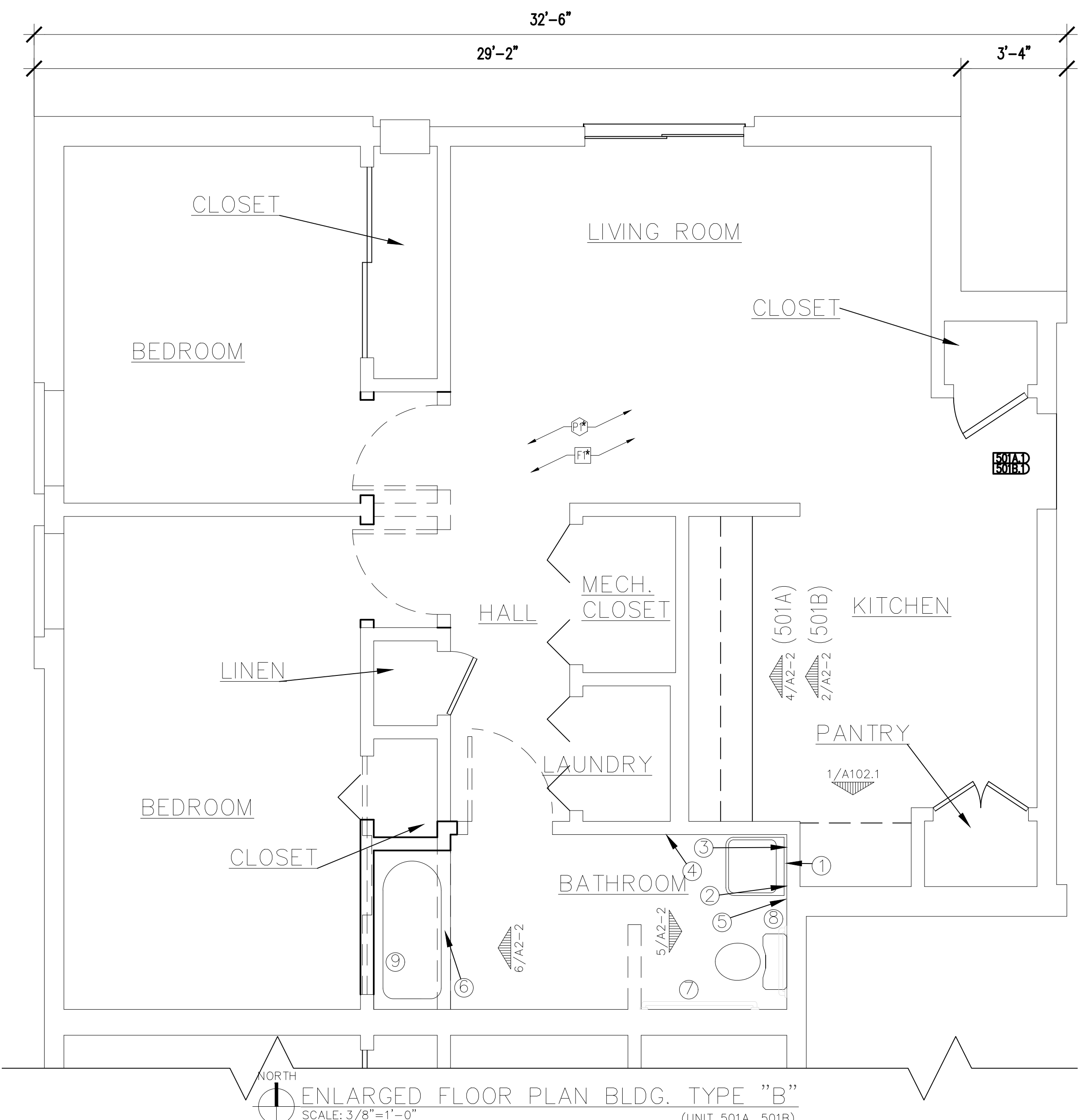
SIDE ELEVATION BLDG. TYPE "B"
SCALE: 1/8"=1'-0" (OPPOSITE SIDE REVERSE)



REAR ELEVATION BLDG. TYPE "B"
SCALE: 1/8"=1'-0"



FLOOR PLAN BLDG. TYPE "B"
SCALE: 3/16"=1'-0"



ENLARGED FLOOR PLAN BLDG. TYPE "B"
SCALE: 3/8"=1'-0" (UNIT 501A, 501B)

DOOR SCHEDULE															
DOOR NO.	SIZE (F.V.) FIELD VERIFY SIZES AND THICKNESS			DOOR			FRAME			LABEL	H'WARE GROUP	DETAILS			REMARKS
	WIDTH	HEIGHT	THICK	(F.V.) MATERIAL	FINISH	ELEV.	(F.V.) MATERIAL	FINISH	ELEV.			HEAD	JAMB	SILL	
501A.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
501B.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
501C.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
501D.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
SLIDER	6'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.

- FLOORING KEY NOTES** [F#]
- INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.
- * = THROUGHOUT UNIT, TYPICAL.
- PAINTING KEY NOTES** [P#]
- REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL. ALLOW 50SQFT PER DWELLING UNIT.
 - REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS, SIDING, SOFFIT AND FASCIA AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
 - ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.
- * = THROUGHOUT UNIT, TYPICAL.

- GENERAL NOTES:**
- REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES - INSTALL NEW AS SHOWN ON A#.01 SHEET FOR BUILDING TYPE, TYPICAL.
 - REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#.01 SHEET FOR BUILDING TYPE, TYPICAL.
 - REMOVE EXG. FLOORING, UNDERLAYMENT, BASE AND MASTIC COMPLETELY THROUGHOUT UNIT TO EXPOSE CONC. FLOOR SLAB ON FIRST FLOOR & SUB-FLOOR SHEATHING ON SECOND FLOOR. LEVEL OUT INCONSISTENCIES IN CONC. SLABS WITH TROWELABLE LEVELING COMPOUND. PROVIDE 1/4" UNDERLAYMENT SHEET OVER SUB - FLOOR SHEATHING. INSTALL NEW GLUE DOWN VINYL PLANK FLOORING & RUBBER BASE THROUGHOUT ROOMS; VINYL RISER & TREAD COVERS W/ WOOD SKIRT BOARD THROUGHOUT STAIRS. INSTALL MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION. REMOVE EXG. 3/4" T&G PLYWOOD SUBFLOOR AT ALL SECOND FLOOR BATHROOMS AND REPLACE WITH NEW PLYWOOD TO MATCH EXG. AND INSTALL A NEW 2X WOOD BLOCKING BETWEEN FLOOR JOISTS AT TOILET FLANGE.
 - REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. & FILL W/ JOINT COMPOUND & SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH @ EXG. INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXG. INTERIOR WALLS AND CEILINGS (INCLUDING ATTIC ACCESS PANELS) IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). THE AREA OF REPLACEMENT AT DAMAGED DRYWALL IS TO EXTEND TO THE NEAREST WALL CORNERS OR ENTIRE CEILING. ALL NEW DRYWALL FINISHES ARE TO MATCH ADJACENT EXISTING FINISHES.
 - FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
 - REMOVE ALL EXISTING WINDOW TREATMENTS / HARDWARE AND PROVIDE / INSTALL NEW BLINDS AND CURTAIN ROD AS SPECIFIED. PATCH WALL / WINDOW TRIM AS NECESSARY.
 - SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
 - COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
 - ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
 - WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
 - ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
 - ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
 - ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
 - PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
 - COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.

HR
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PROFESSIONAL DESIGN NUMBER: 184-00298

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SIGNATURE xx-xx-2025
DATE 11-30-2026
LICENSE EXPIRES

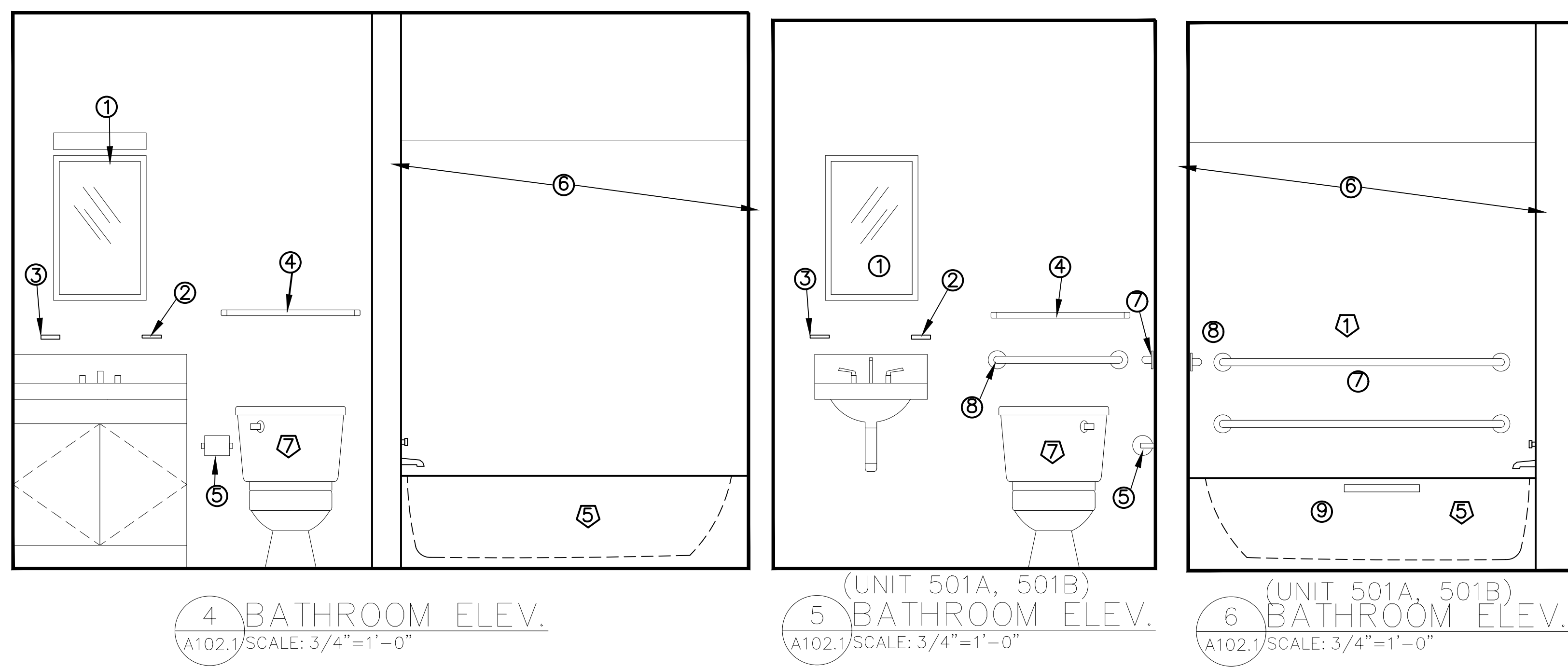
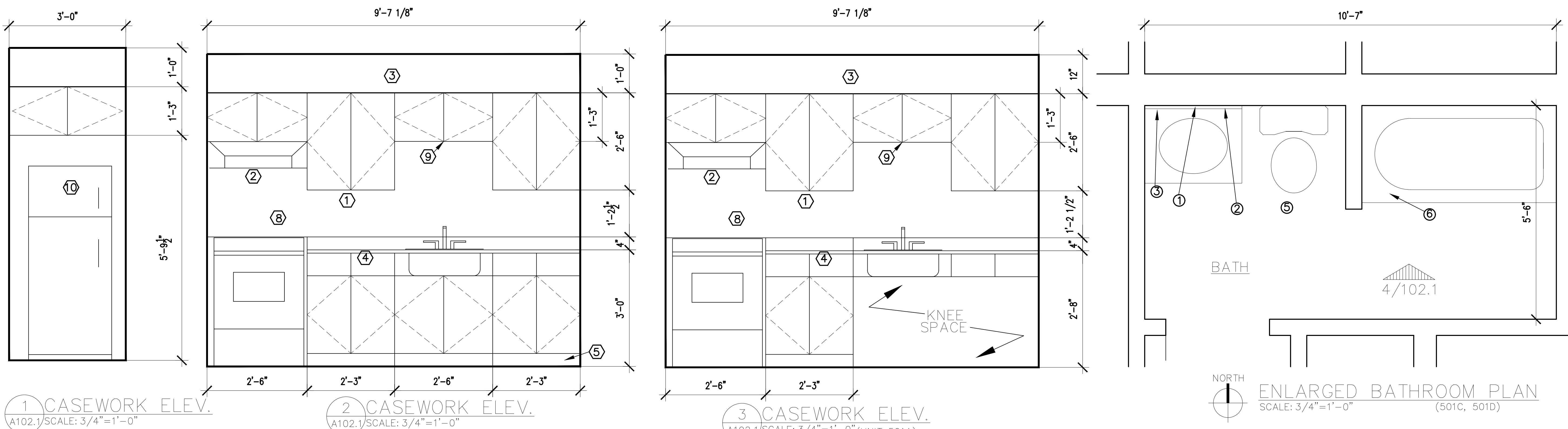
**RAD RENOVATION SILVER CREEK MANOR
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON
ST. CLAIR COUNTY HOUSING AUTHORITY
ST. CLAIR COUNTY, ILLINOIS**

MK.	DATE	DESCRIPTION

DATE: 04-14-2025
PROJECT NO: 280-0385
DESIGN: JLW DRAWN: JSM CHECK: BGE

IL30-14 LEBANON
BUILDING TYPE "B"
PLANS AND ELEVATIONS

A102



- TOILET/BATH KEY NOTES**
- TUB/SHOWER SURROUND W/CORNER SHELVING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 1/2" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
 - LIGHT FIXTURE - COORD. WITH ELECTRICAL
 - 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
 - VANITY CABINET W/CULTURED MARBLE. TOP W/INTEGRAL SINK.
 - NEW TUB. - COORD. WITH PLUMBING
 - ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL THROUGHOUT UNIT, TYPICAL.
 - NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
 - NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.

- KITCHEN GENERAL NOTES**
- COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
 - GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
 - DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
 - COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
 - FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
 - PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
 - INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
 - INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
 - INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
 - PROVIDE BACKSPLASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
 - ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
 - INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

TOILET/BATH ACCESSORIES SCHEDULE

#	ITEM	DESCRIPTION	MOUNTING (A.F.F.)	REMARKS
1	M	WALL MOUNTED MIRROR (18" x 30")	40" TO BOTTOM	--
2	SD	SOAP DISH	40" TO TOP	--
3	CH	CUP HOLDER	40" TO TOP	--
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	--
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	--
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	--
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--
8	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--

- KITCHEN KEYED NOTES**
- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
 - NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
 - EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
 - SINK BASE CABINET.
 - 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
 - FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
 - FINISHED FILLER TO MATCH CABINET FINISH
 - WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
 - UNDER CABINET LIGHT. COORDINATE w/ ELECTRICAL. INSTALL ON CABINET SURFACE.
 - REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.

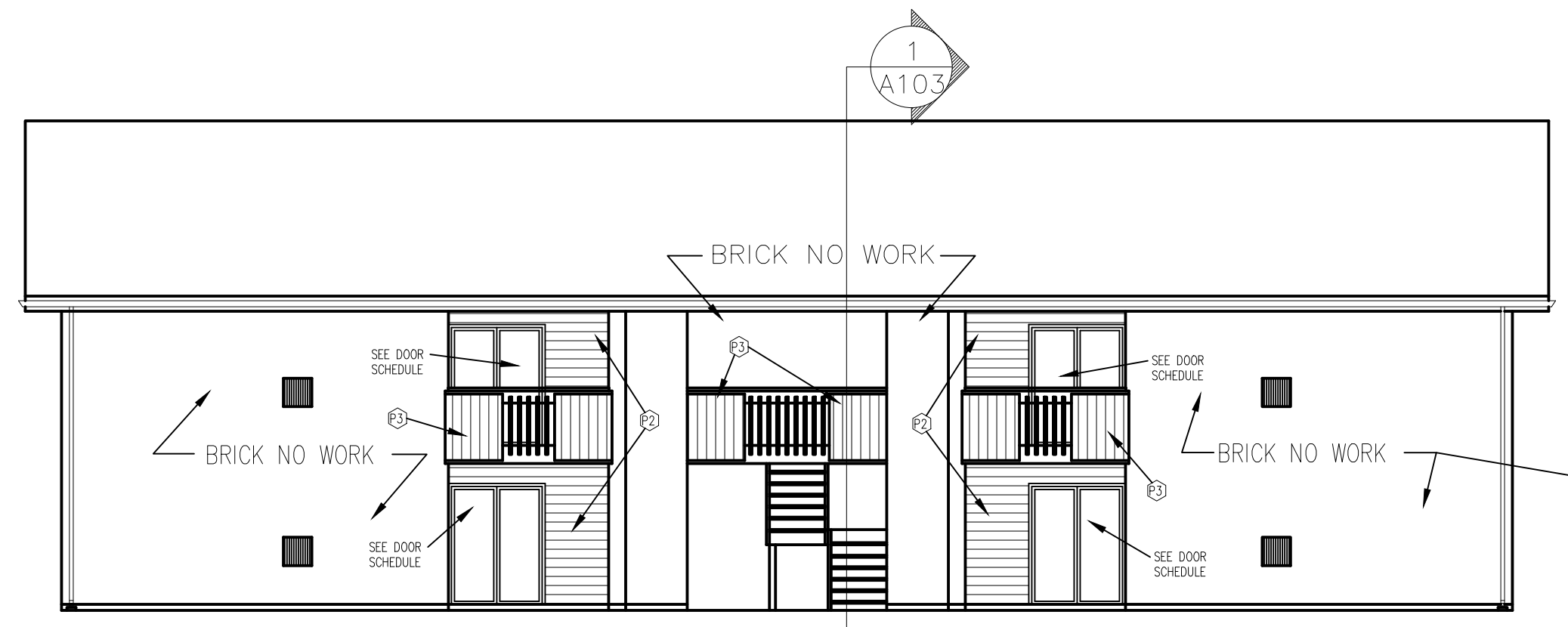
- TOILET/BATH ELEVATION GENERAL NOTES**
- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
 - PROVIDE BLOCKING IN WALLS FOR ANCHORING WHERE REQ'D IF NOT EXISTING.
 - ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING & ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
 - PRIME & PAINT ALL GYP. BD. & CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
 - ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.

**RAD RENOVATION SILVER CREEK MANOR
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON
ST. CLAIR COUNTY HOUSING AUTHORITY
ST. CLAIR COUNTY, ILLINOIS**

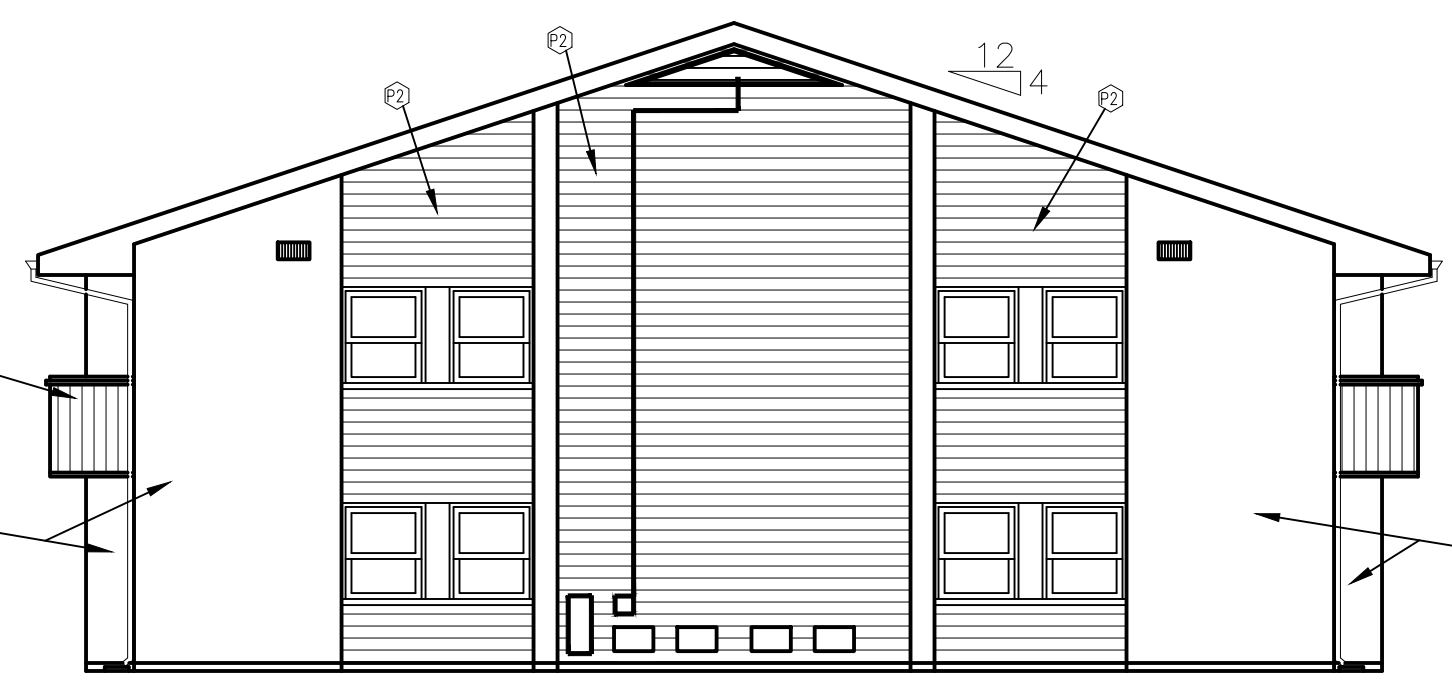
MK.	DATE	DESCRIPTION

DATE: 04-14-2025
PROJECT NO: 280-0385
DESIGN: JLV DRAWN: JSM CHECK: BGE

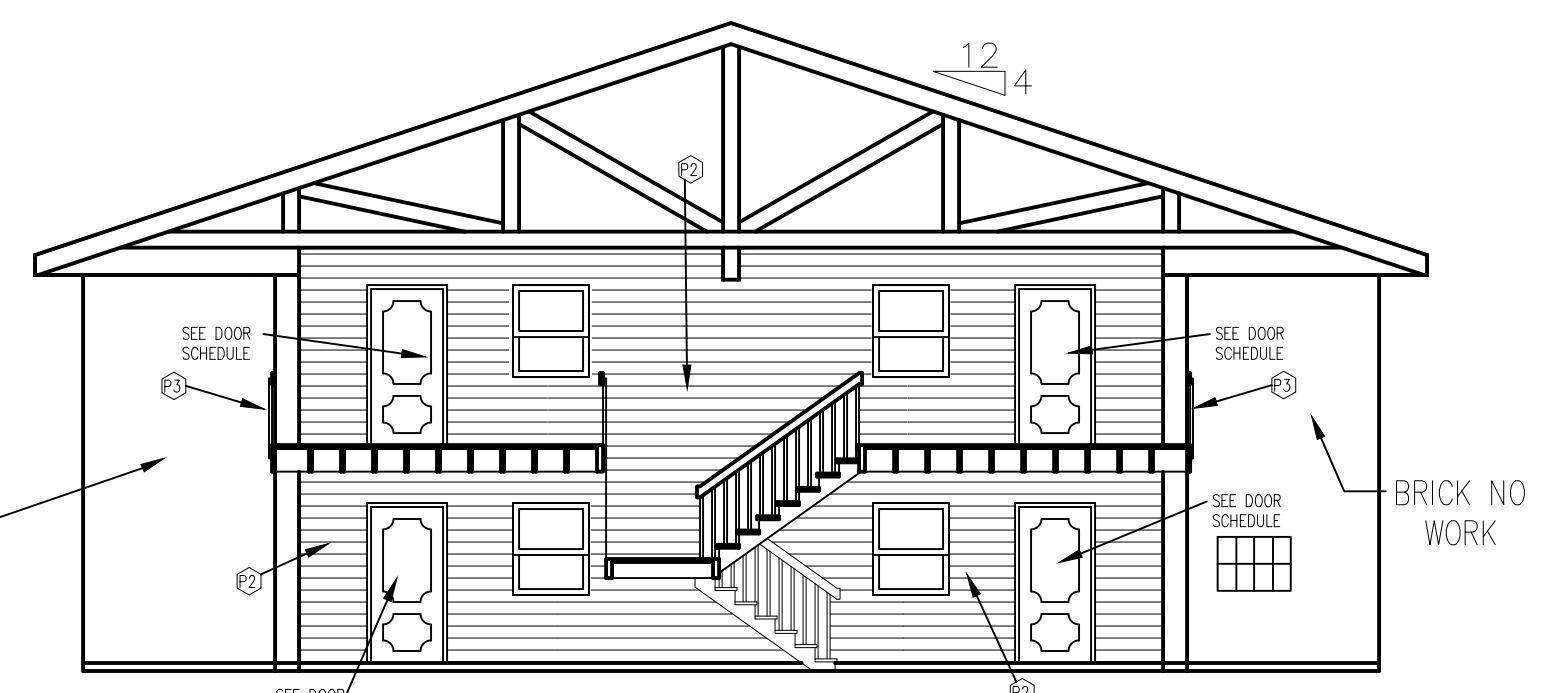
IL30-14 LEBANON
BUILDING TYPE "B"
PLANS AND ELEVATIONS



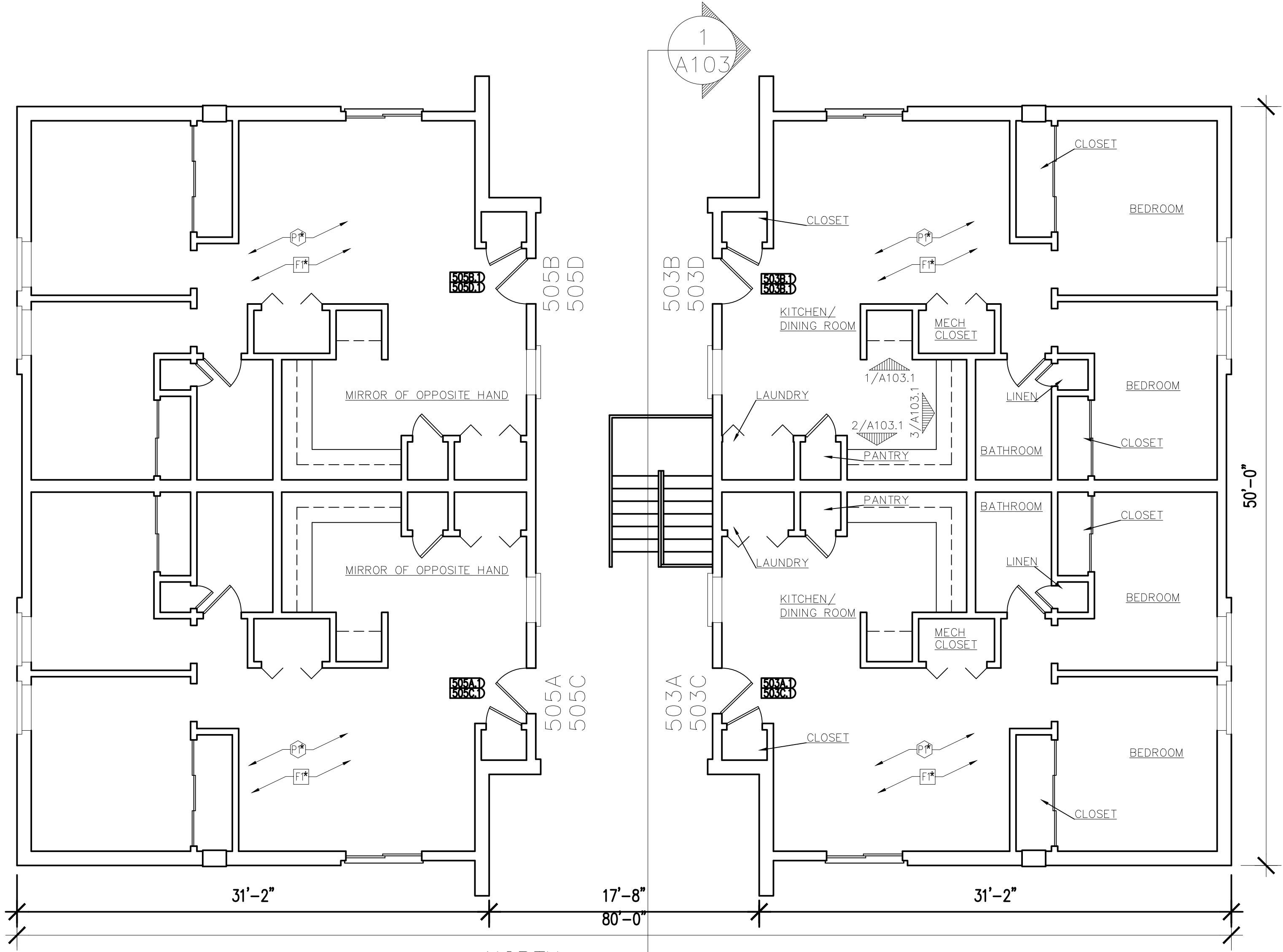
FRONT ELEVATION BLDG. TYPE "C"
SCALE: 1/8"=1'-0" (OPPOSITE SIDE REVERSE)



SIDE ELEVATION BLDG. TYPE "C"
SCALE: 1/8"=1'-0" (OPPOSITE SIDE REVERSE)



1 BUILDING SECTION
A103 SCALE: 1/8"=1'-0"



NORTH
FLOOR PLAN BLDG. TYPE "C"
SCALE: 1/8"=1'-0"

GENERAL NOTES:

1. REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES - INSTALL NEW AS SHOWN ON A#.01 SHEET FOR BUILDING TYPE, TYPICAL.
2. REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#.01 SHEET FOR BUILDING TYPE, TYPICAL.
3. FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
4. SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
6. COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
7. ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
8. WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
9. ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
10. ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
11. ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
12. PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
13. COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.

FLOORING KEY NOTES [F#]

1. REMOVE AND DISPOSE OF EXISTING FLOORING, BASE AND MASTIC THROUGHOUT UNIT. INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.
- * = THROUGHOUT UNIT, TYPICAL.

PAINTING KEY NOTES [P#]

1. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH) @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL, ALLOW 50SQFT PER DWELLING UNIT.
2. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS & SIDING AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
3. ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.

DOOR SCHEDULE															
DOOR NO.	SIZE			DOOR			FRAME			LABEL	H'WARE GROUP	DETAILS			REMARKS
	(F.V.) FIELD VERIFY SIZES AND THICKNESS	WIDTH	HEIGHT	THICK	(F.V.) MATERIAL	FINISH	ELEV.	(F.V.) MATERIAL	FINISH			ELEV.	HEAD	JAMB	
503A.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
503B.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
503C.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
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505D.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
SLIDER	6'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.

RAD RENOVATION SILVER CREEK MANOR
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON
ST. CLAIR COUNTY HOUSING AUTHORITY
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

DATE: 04-14-2025
PROJECT NO: 280-0385
DESIGN: JSM DRAWN: JSM CHECK: BGE

IL30-14 LEBANON
BUILDING TYPE "C"
PLANS AND ELEVATIONS

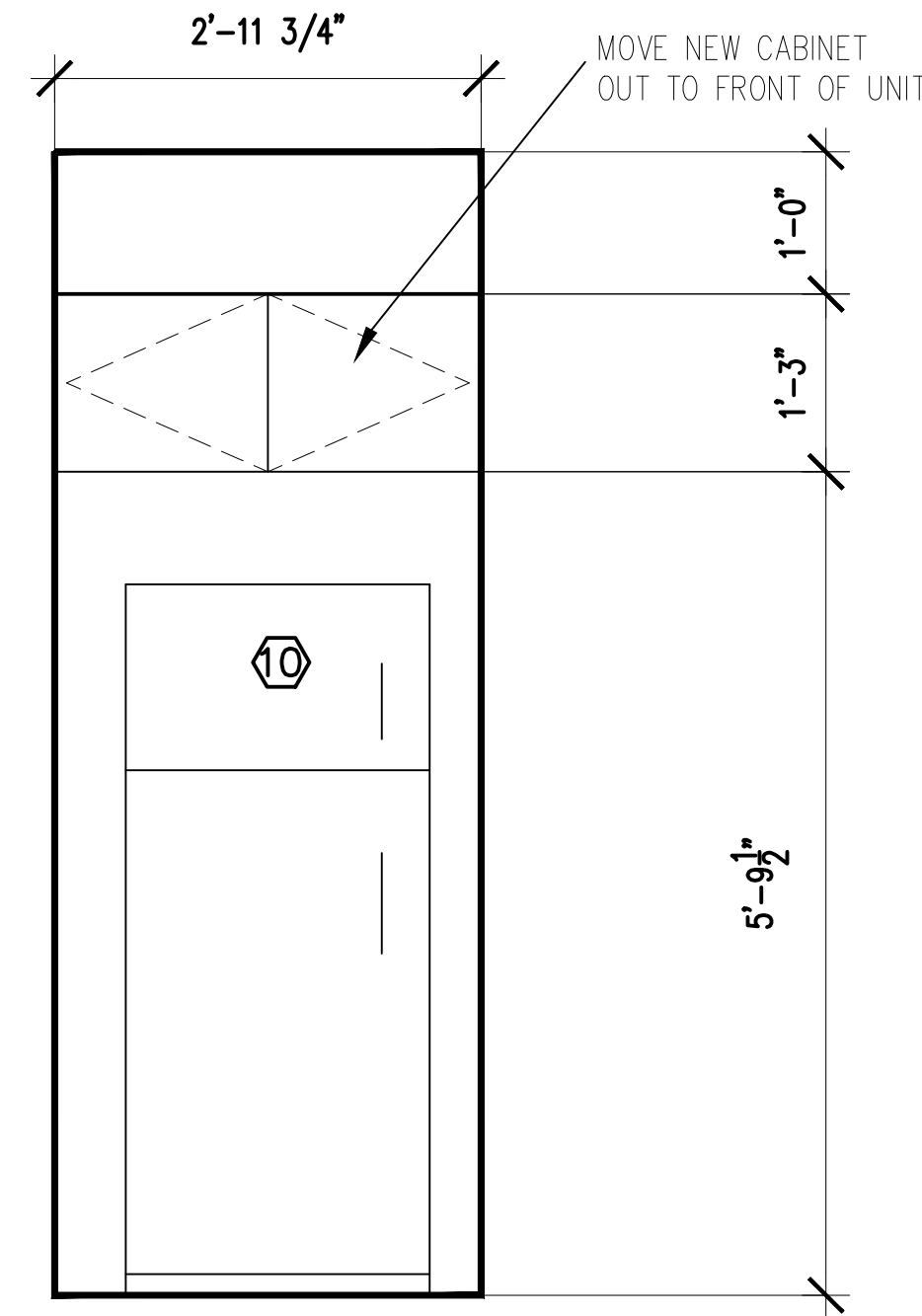
A103



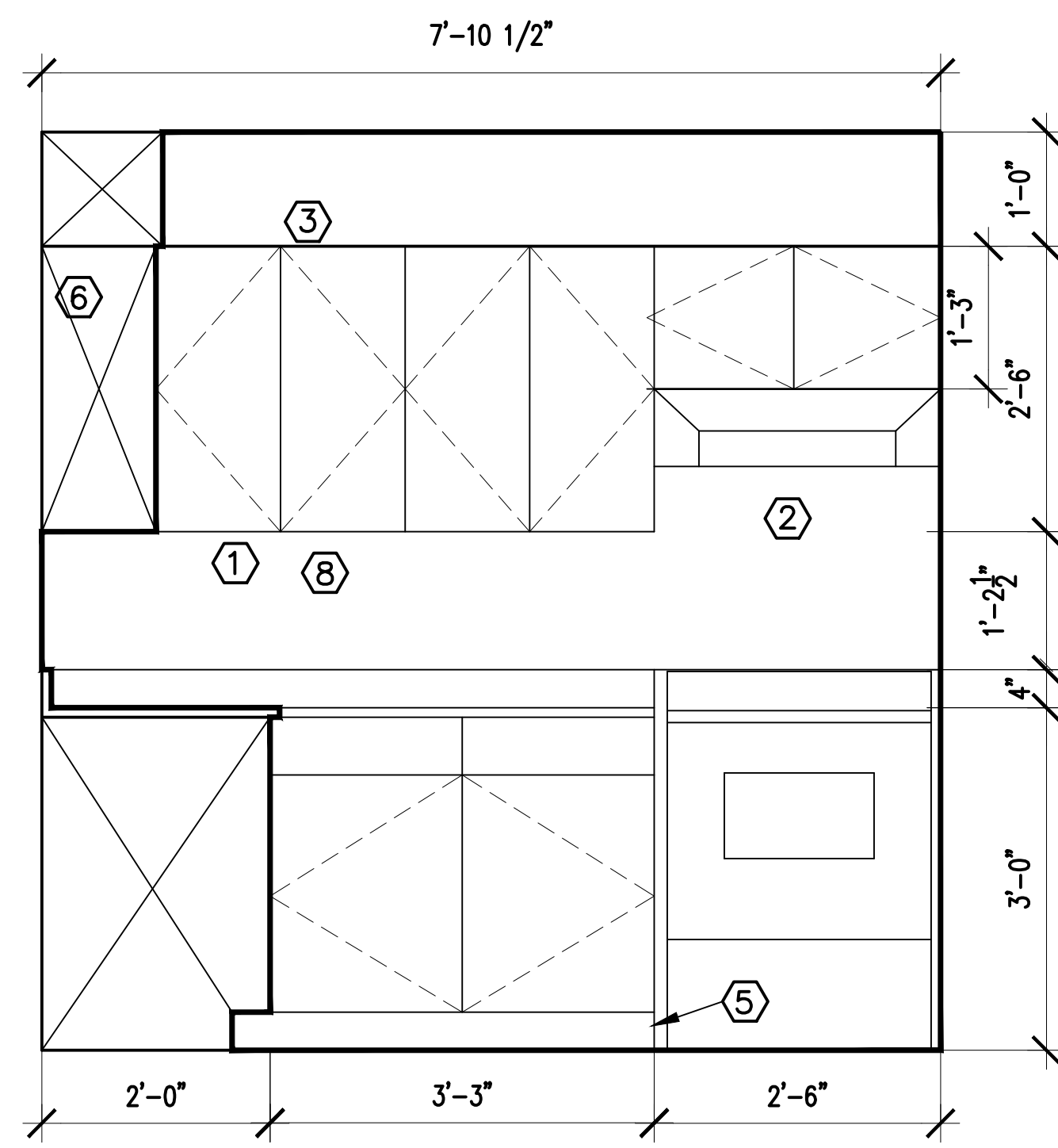
Hurst-Rosche, Inc.
PROFESSIONAL DESIGN NUMBER: 184-000298

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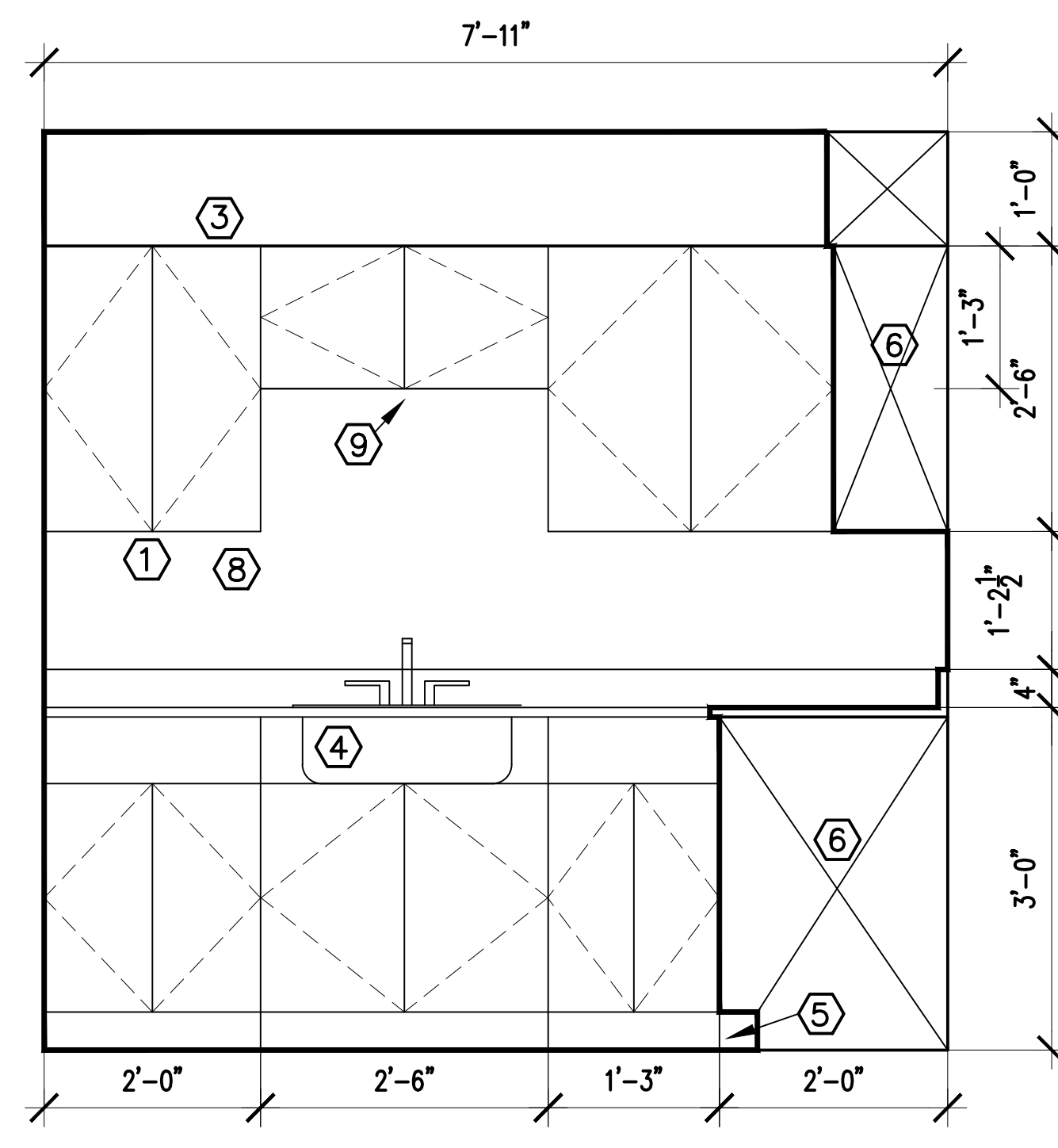
SIGNATURE
xx-xx-2025
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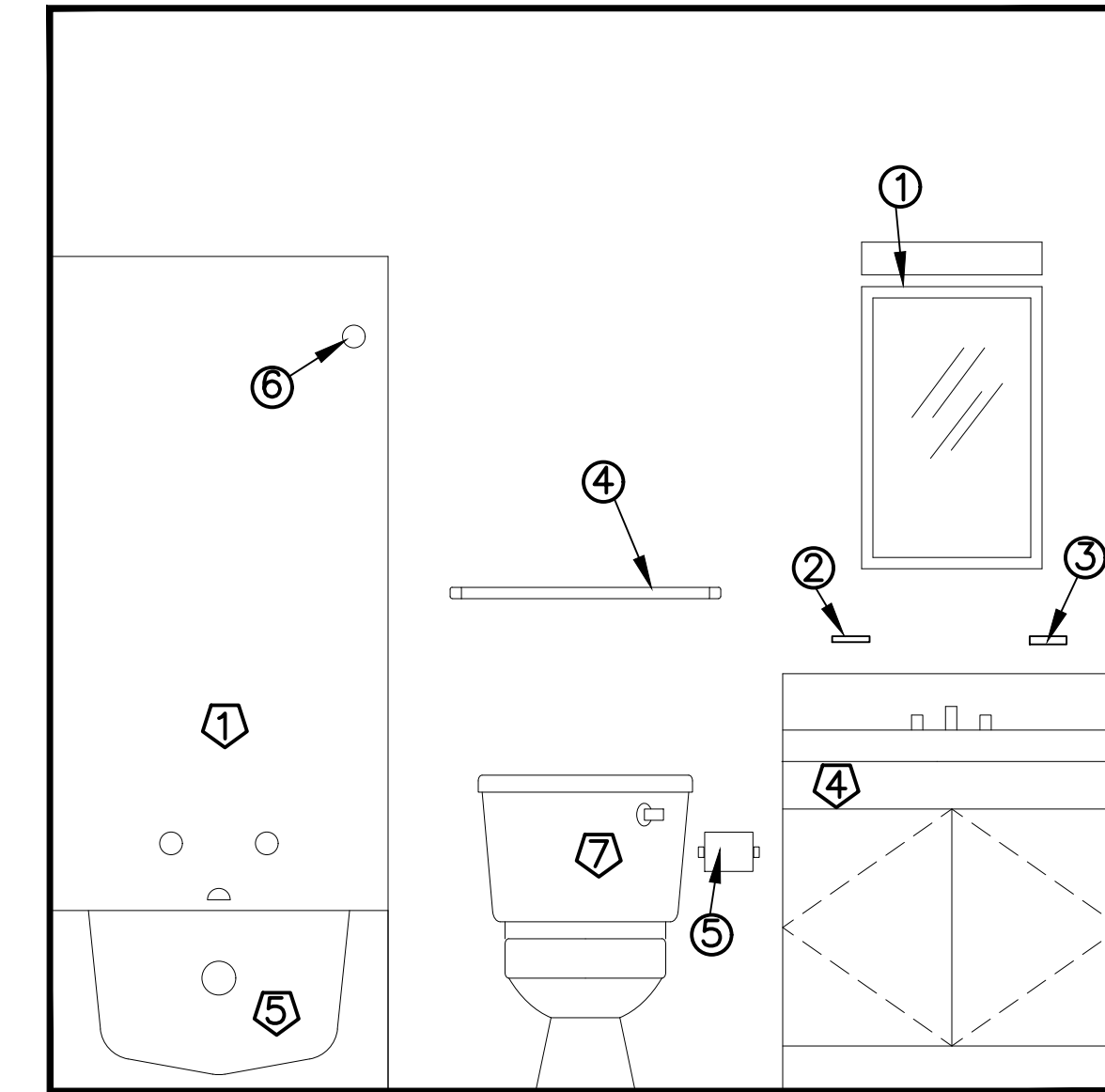
1 CASEWORK ELEV.
A103.1 SCALE: 3/4"=1'-0"



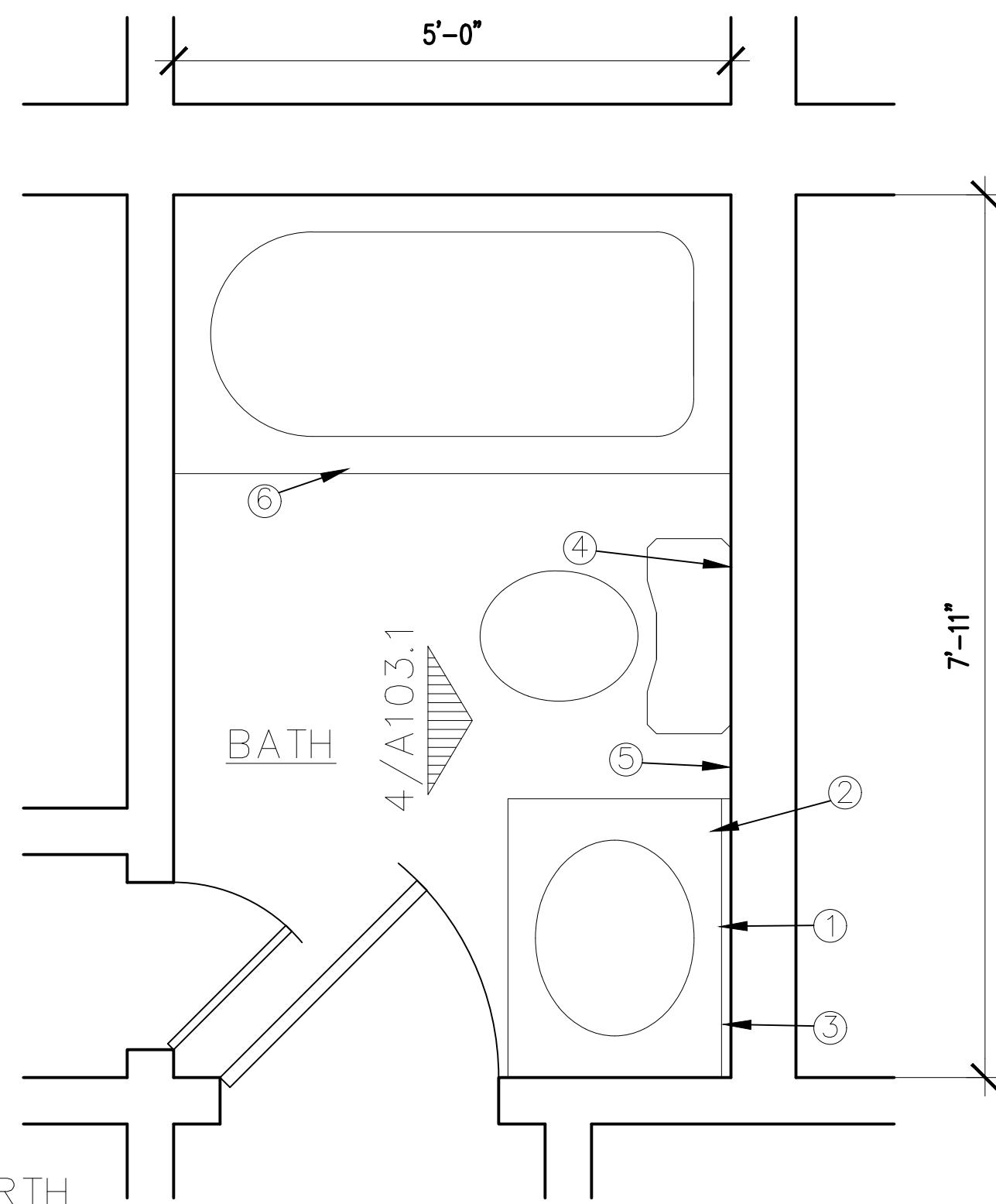
2 CASEWORK ELEV.
A103.1 SCALE: 3/4"=1'-0"



3 CASEWORK ELEV.
A103.1 SCALE: 3/4"=1'-0"



4 BATHROOM ELEV.
A103.1 SCALE: 3/4"=1'-0"



NORTH
ENLARGED BATHROOM PLAN
SCALE: 1/4"=1'-0"

- TOILET/BATH KEY NOTES** #
- TUB/SHOWER SURROUND W/CORNER SHELVING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 3/8" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
 - LIGHT FIXTURE - COORD. WITH ELECTRICAL
 - 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
 - VANITY CABINET W/CULTURED MARBLE. TOP W/INTEGRAL SINK.
 - NEW TUB. - COORD. WITH PLUMBING
 - ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL, THROUGHOUT UNIT, TYPICAL.
 - NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
 - NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.

- TOILET/BATH ELEVATION GENERAL NOTES**
- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
 - PROVIDE BLOCKING IN WALLS FOR ANCHORING ALL ACCESSORIES WHERE REQ'D IF NOT EXISTING.
 - ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING & ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
 - PRIME & PAINT ALL GYP. BD. & CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
 - ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.

- KITCHEN KEYED NOTES** #
- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
 - NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
 - EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
 - SINK BASE CABINET.
 - 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
 - FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
 - FINISHED FILLER TO MATCH CABINET FINISH
 - WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
 - UNDER CABINET LIGHT. COORDINATE w/ ELECTRICAL. INSTALL ON CABINET SURFACE.
 - REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.

- KITCHEN GENERAL NOTES**
- COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
 - GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
 - DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
 - COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
 - FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
 - PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
 - INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
 - INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
 - INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
 - PROVIDE BACKSPLASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
 - ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
 - INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

TOILET/BATH ACCESSORIES SCHEDULE #

#	ITEM	DESCRIPTION	MOUNTING (A.F.F.)	REMARKS
1	M	WALL MOUNTED MIRROR (18" x 30")	40" TO BOTTOM	--
2	SD	SOAP DISH	40" TO TOP	---
3	CH	CUP HOLDER	40" TO TOP	---
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	---
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	---
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	---
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	---
8	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	---

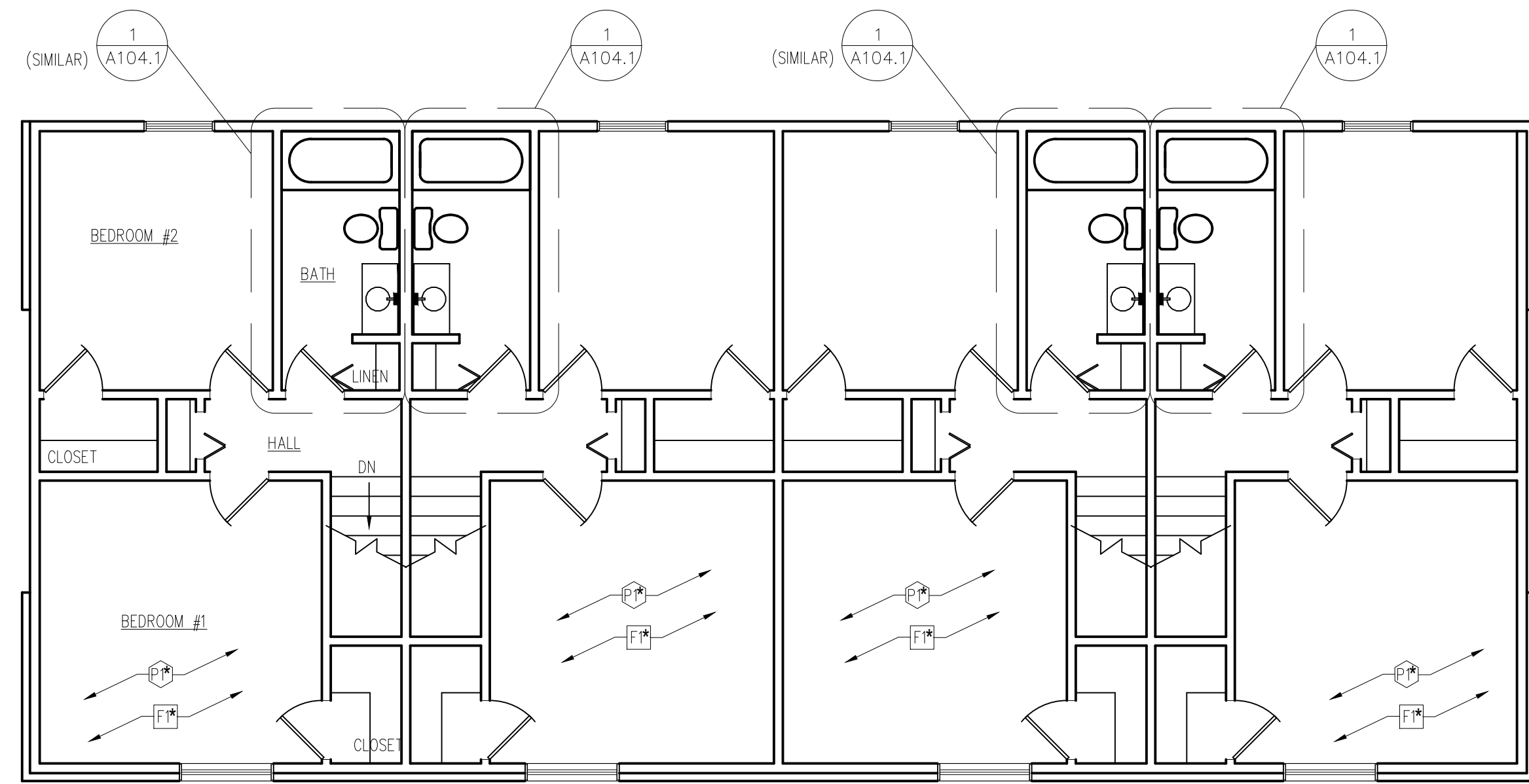
RAD RENOVATION SILVER CREEK MANOR
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON
ST. CLAIR COUNTY HOUSING AUTHORITY
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

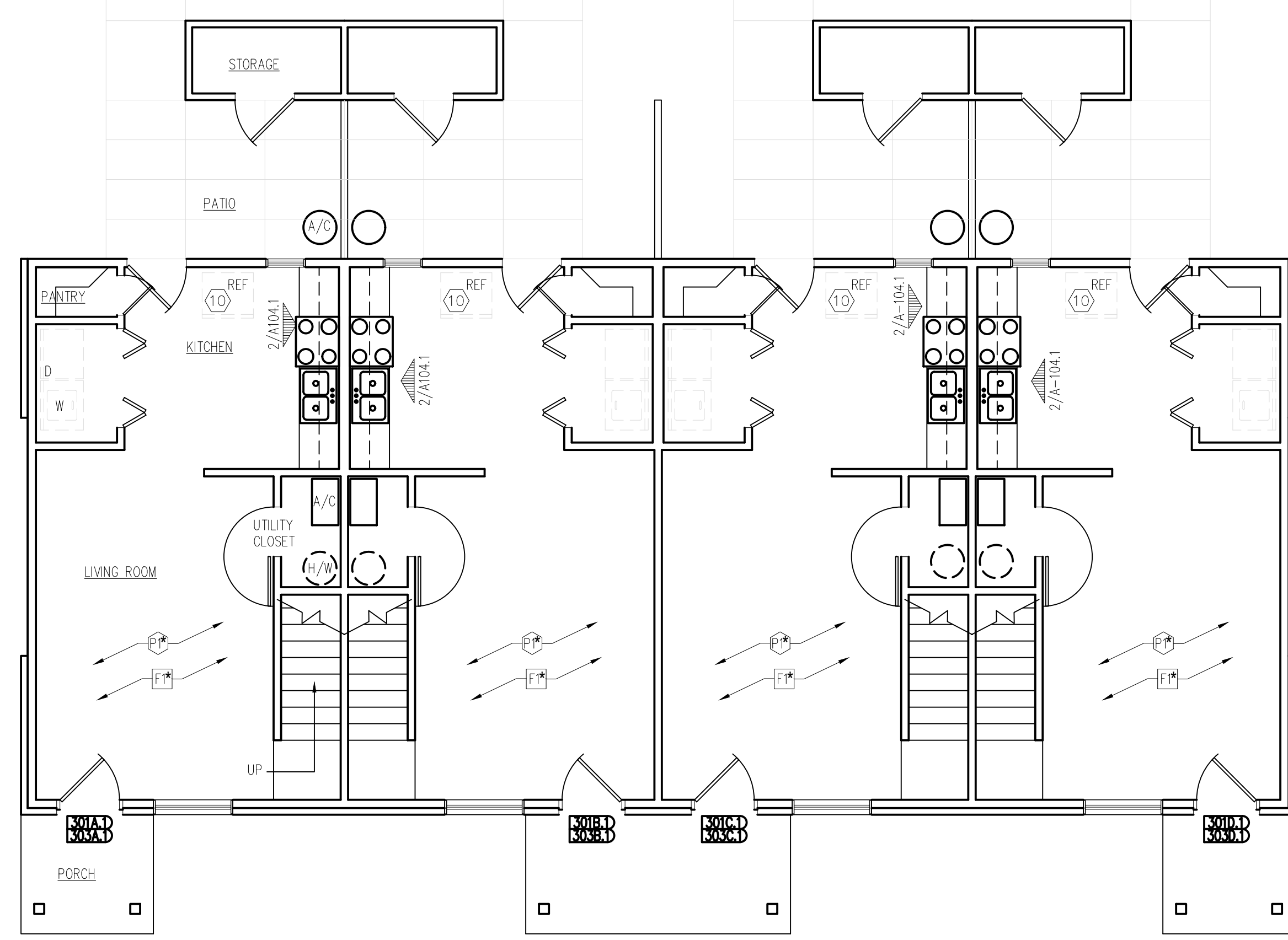
DATE: 04-14-2025
PROJECT NO: 280-0385
DESIGN: JLW DRAWN: JSM CHECK: BGE

IL30-14 LEBANON
BUILDING TYPE "C"
PLANS AND ELEVATIONS

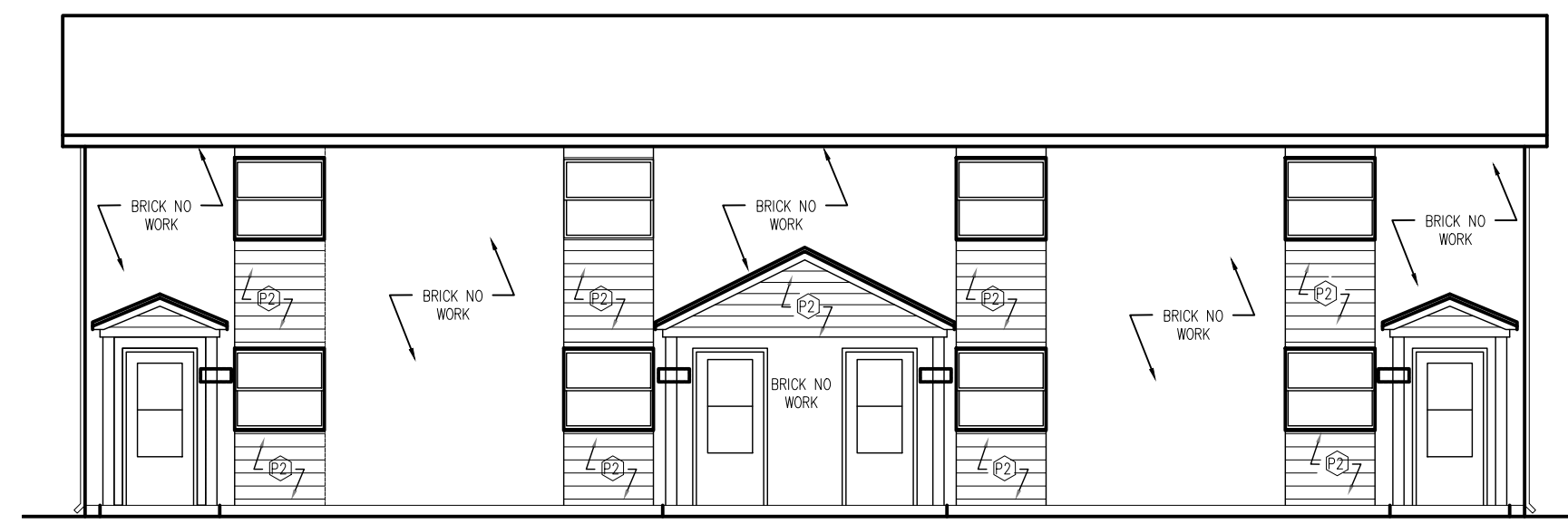
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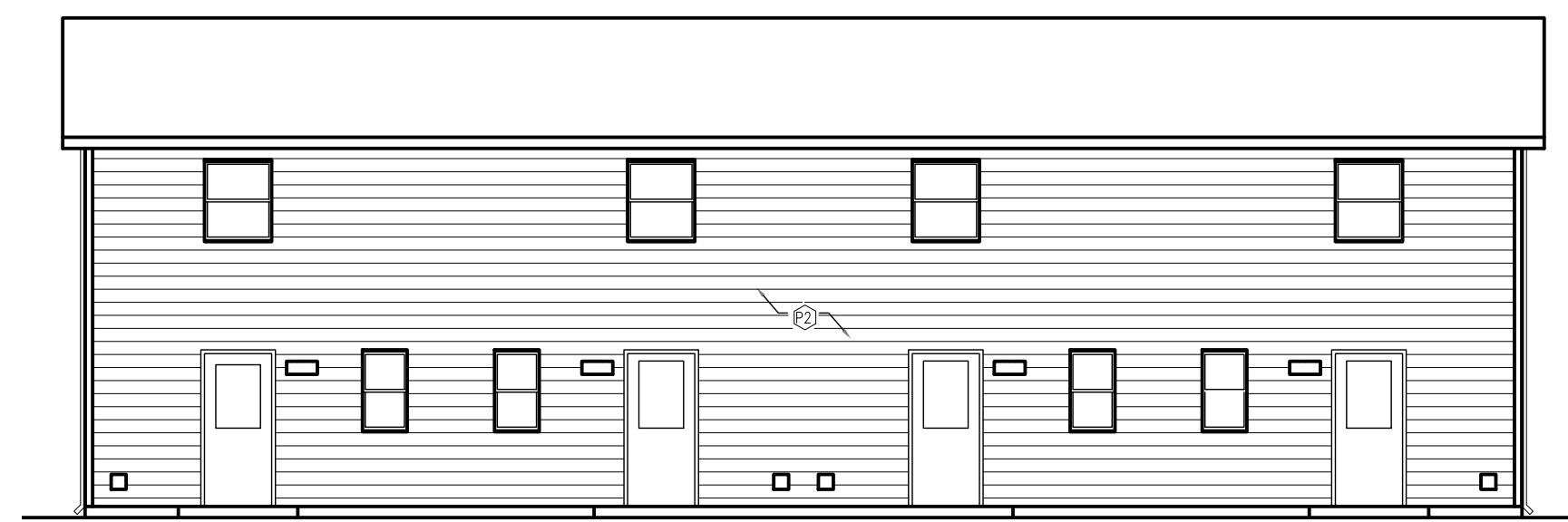
SECOND FLOOR PLAN – BUILDING TYPE "A"
SCALE: 3/16" = 1'-0" (301 AND 303)



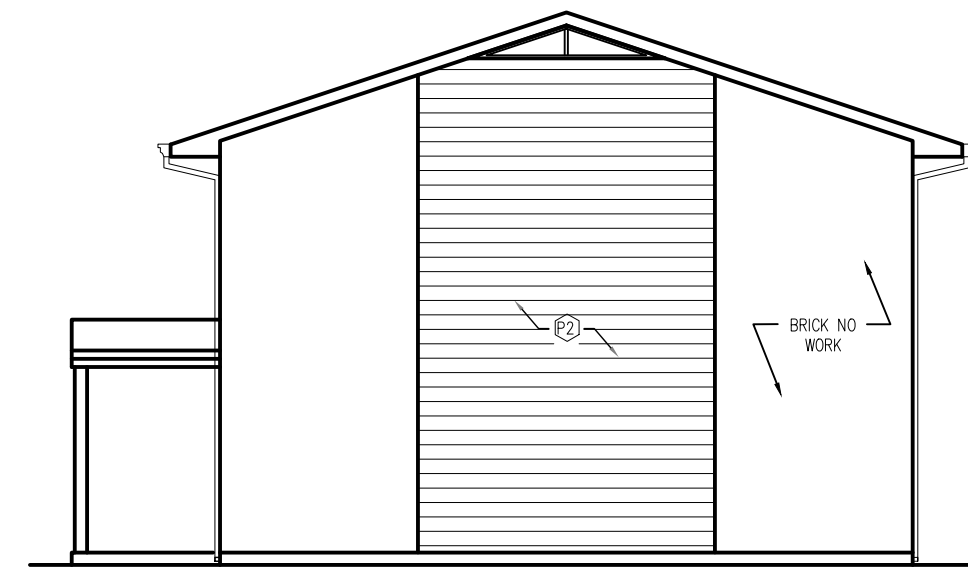
FIRST FLOOR PLAN – BUILDING TYPE "A"
SCALE: 3/16" = 1'-0" (301 AND 303)



FRONT ELEVATION – BLDG. TYPE "A" 301 & 303
SCALE: 1/8"=1'-0" (TYP. OF 2 BLDGS.)



REAR ELEVATION – BLDG. TYPE "A" 301 & 303
SCALE: 1/8"=1'-0" (TYP. OF 2 BLDGS.)



SIDE ELEVATION – BLDG. TYPE "A" 301 & 303
SCALE: 1/8"=1'-0" OPPOSITE SIDE IS A MIRROR IMAGE (TYP. OF 2 BLDGS.)

FLOORING KEY NOTES [F#]

- REMOVE AND DISPOSE OF EXISTING FLOORING, BASE AND MASTIC THROUGHOUT UNIT. INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.
* = THROUGHOUT UNIT, TYPICAL.

PAINTING KEY NOTES [P#]

- REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL, ALLOW 50SQFT PER DWELLING UNIT.
* = THROUGHOUT UNIT, TYPICAL.
- REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS & SIDING AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
- ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.

GENERAL NOTES:

- REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES – INSTALL NEW AS SHOWN ON A#_01 SHEET FOR BUILDING TYPE, TYPICAL.
- REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#_01 SHEET FOR BUILDING TYPE, TYPICAL.
- FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
- COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
- ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
- WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
- ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
- ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
- ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
- PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
- COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.

DOOR NO.	SIZE			DOOR			FRAME			LABEL	H'WARE GROUP	DETAILS			REMARKS
	(F.V.) FIELD VERIFY SIZES AND THICKNESS			(F.V.) MATERIAL	FINISH	ELEV.	(F.V.) MATERIAL	FINISH	ELEV.			HEAD	JAMB	SILL	
	WIDTH	HEIGHT	THICK												
301A.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
301B.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
301C.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
301D.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
303A.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
303B.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
303C.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	
303D.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	---	1	A	B&C	---	

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.



Hurst-Rosche, Inc.
PROFESSIONAL DESIGN NUMBER: 184-00298

1400 E. TREMONT STREET
HILLSBORO, IL
PH: 217.532.3959
www.hurst-rosche.com
EAST ST. LOUIS, IL
MARION, IL
ARNOLD, MO
NASHVILLE, TN
SPRINGFIELD, IL

SIGNATURE
xx-xx-2025
DATE
11-30-2026
LICENSE EXPIRES

RAD RENOVATION SILVER CREEK MANOR
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON
ST. CLAIR COUNTY HOUSING AUTHORITY
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

DATE: 04-14-2025
PROJECT NO: 280-0385
DESIGN: JLV DRAWN: JSM CHECK: BGE

IL30-24 O'FALLON
BUILDING TYPE "A"
PLANS AND ELEVATIONS

A104



Hurst-Rosche, Inc.
PROFESSIONAL DESIGN NUMBER: 184-00298

1400 E. TREMONT STREET
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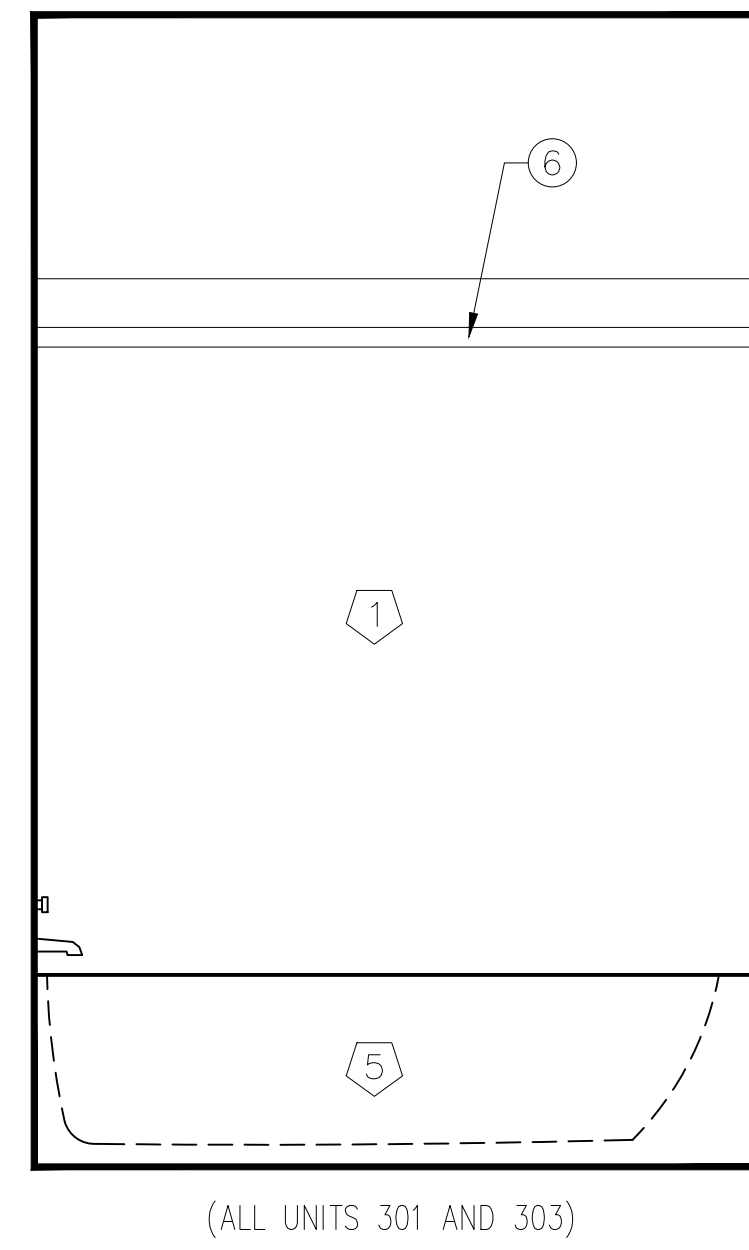
RAD RENOVATION SILVER CREEK MANOR
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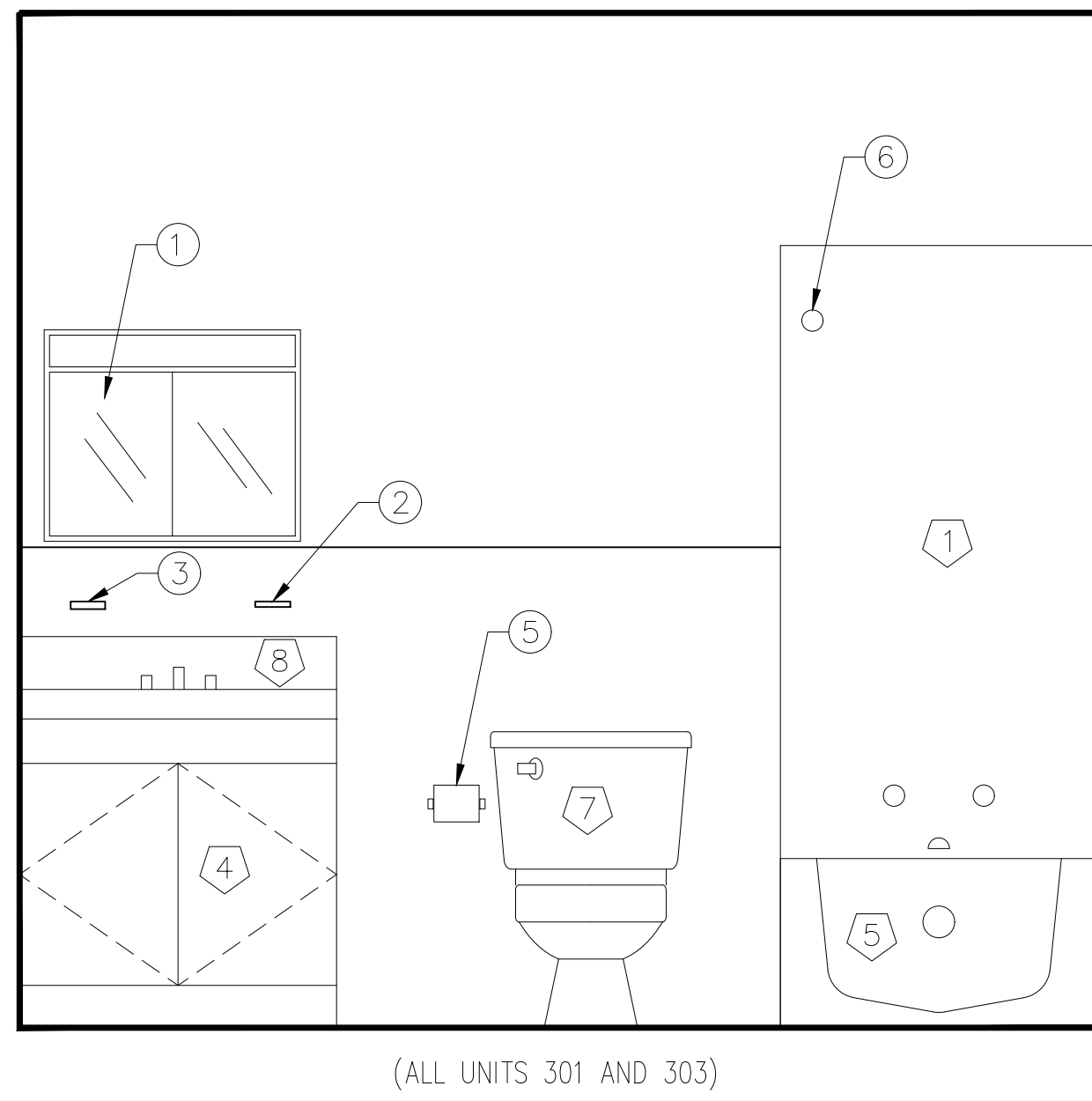
DATE: 04-14-2025
PROJECT NO: 280-0385
DESIGN: JLV DRAWN: JSM CHECK: BGE

IL30-24 O'FALLON
BUILDING TYPE "A"
PLANS AND ELEVATIONS

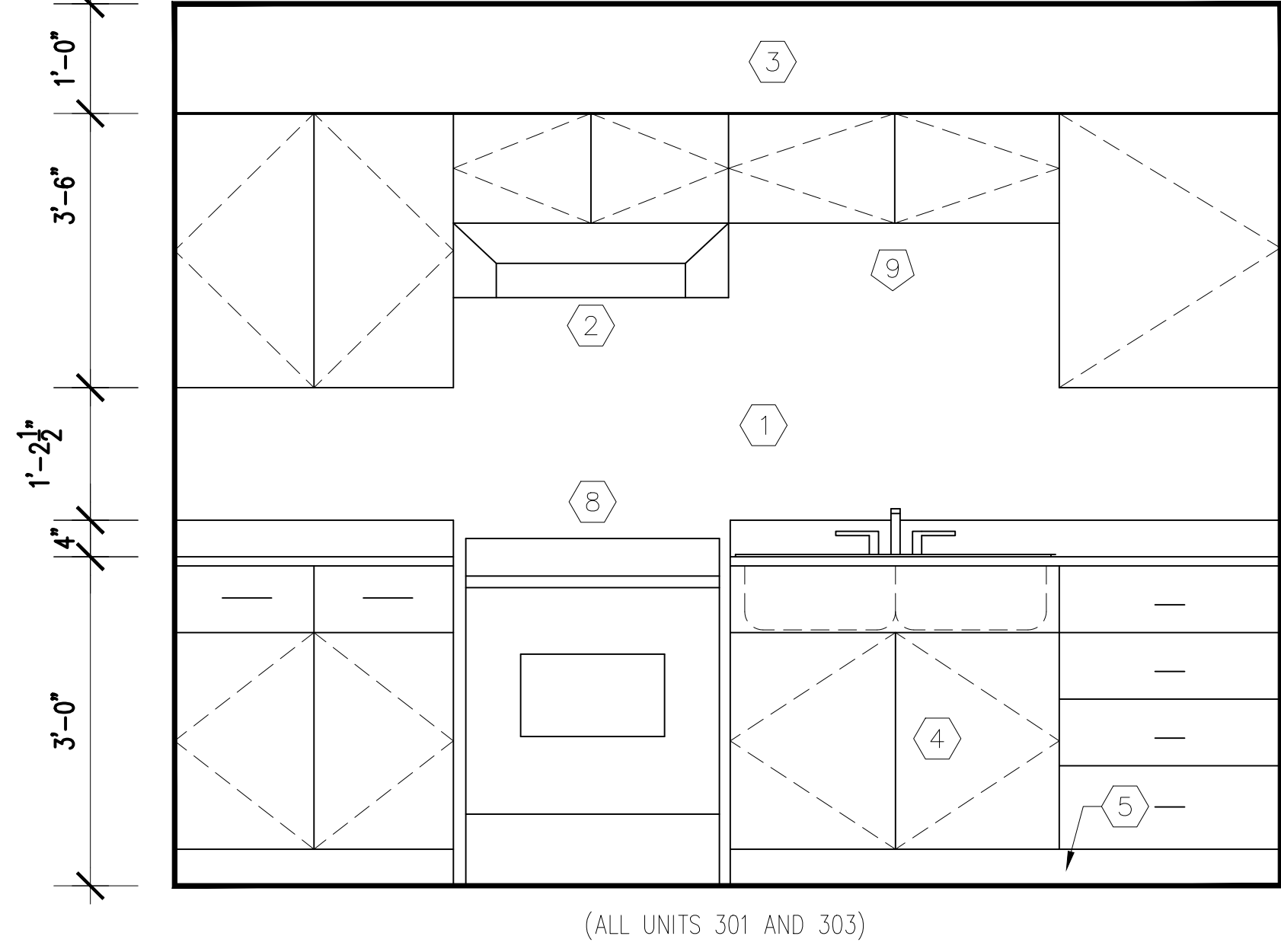
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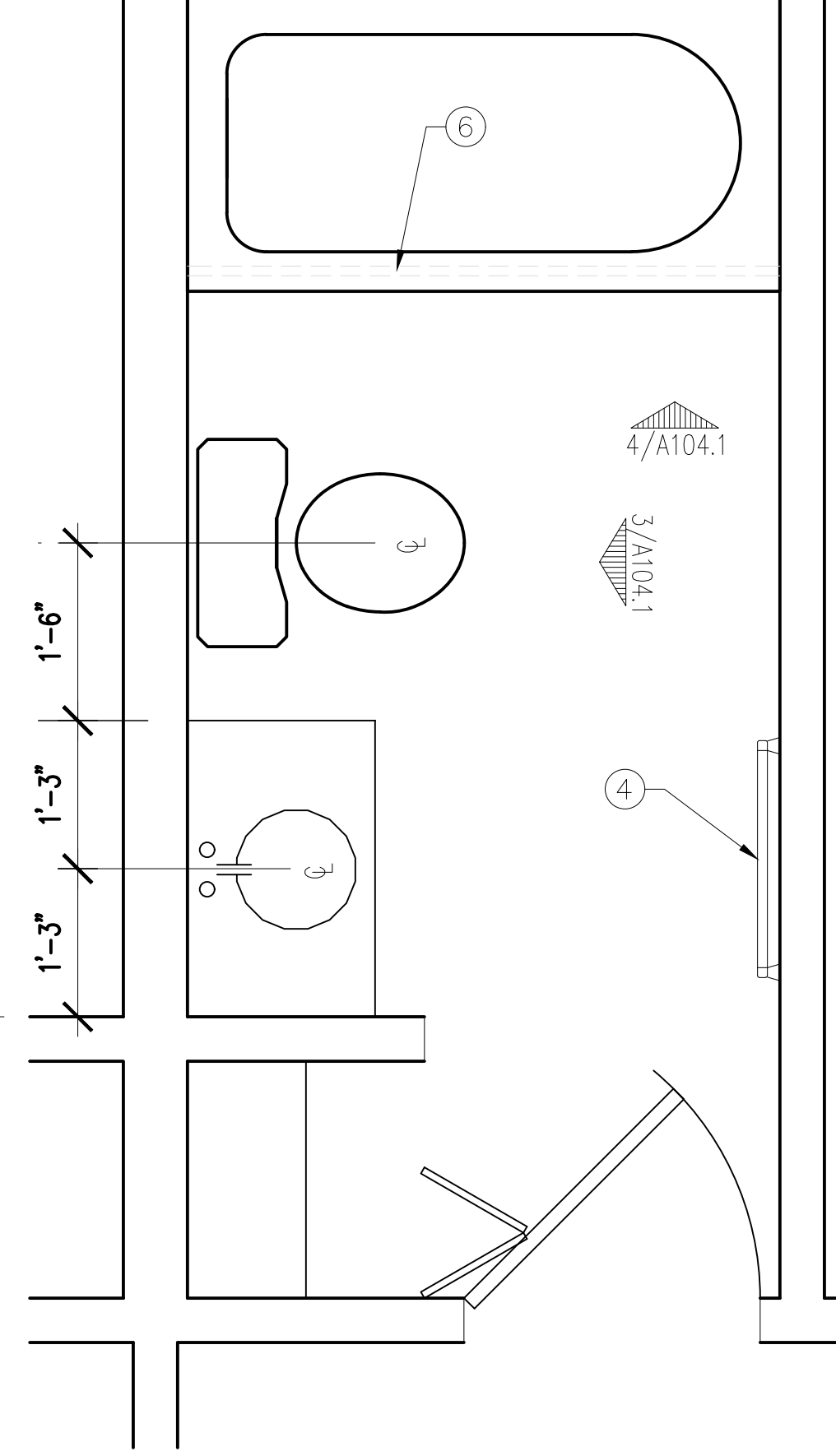
4 BATHROOM ELEV.
A104.1 SCALE: 3/8"=1'-0"



3 BATHROOM ELEV.
A104.1 SCALE: 3/8"=1'-0"



2 CASEWORK ELEV.
A104.1 SCALE: 3/4"=1'-0"



1 ENLARGED TOILET PLAN
A104.1 SCALE: 3/8"=1'-0"

- TOILET/BATH KEY NOTES** #
- TUB/SHOWER SURROUND W/CORNER SHELVEING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 3/8" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
 - LIGHT FIXTURE - COORD. WITH ELECTRICAL
 - 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
 - VANITY CABINET W/CULTURED MARBLE. TOP W/INTEGRAL SINK.
 - NEW TUB. - COORD. WITH PLUMBING
 - ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL, THROUGHOUT UNIT, TYPICAL.
 - NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
 - NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.

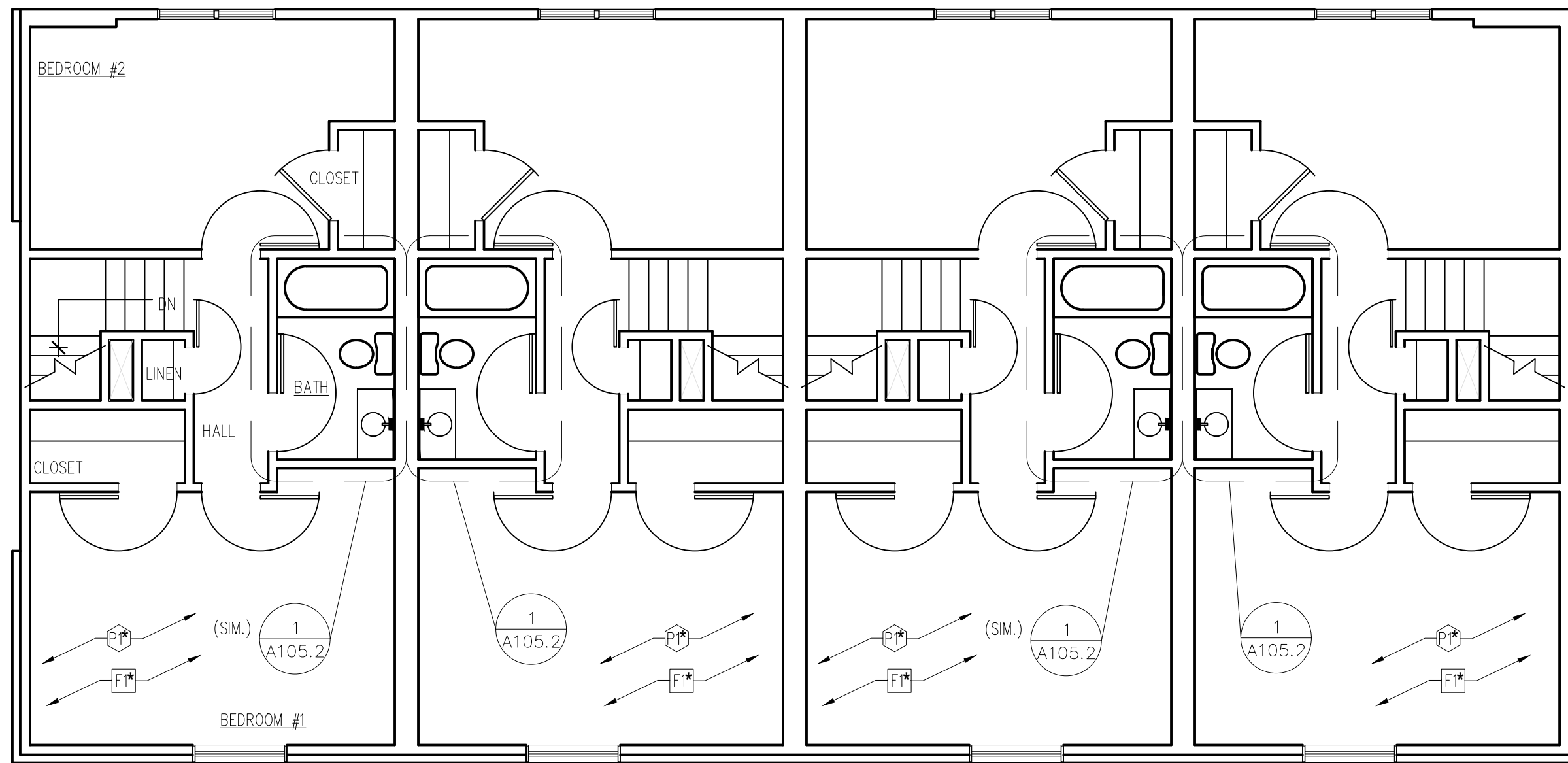
- KITCHEN KEYED NOTES** #
- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
 - NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
 - EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
 - SINK BASE CABINET.
 - 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
 - FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
 - FINISHED FILLER TO MATCH CABINET FINISH
 - WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
 - UNDER CABINET LIGHT. COORDINATE W/ ELECTRICAL. INSTALL ON CABINET SURFACE.
 - REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.

- KITCHEN GENERAL NOTES**
- COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
 - GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
 - DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
 - COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
 - FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
 - PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
 - INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
 - INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
 - INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
 - PROVIDE BACKSPASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
 - ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
 - INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

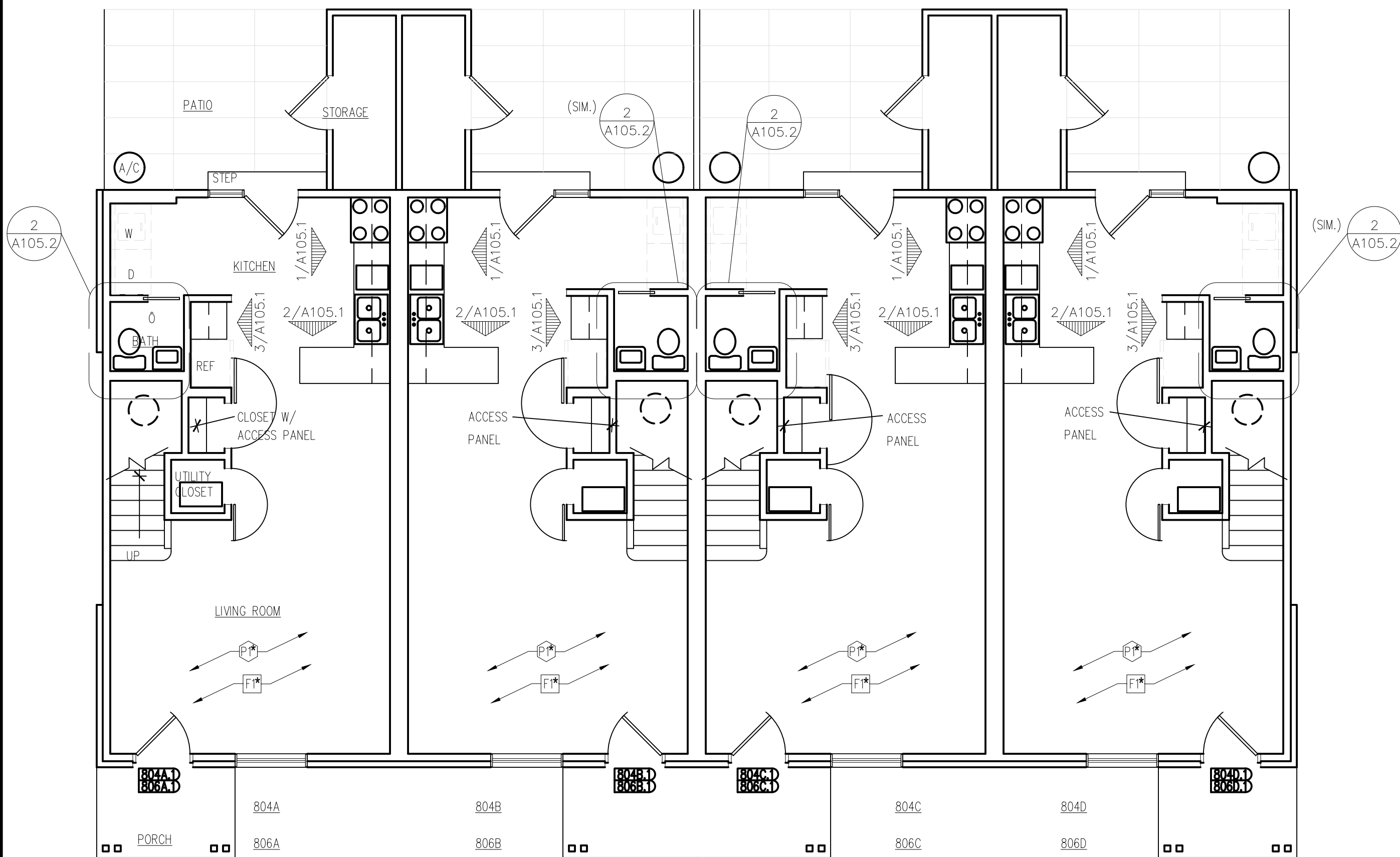
- TOILET/BATH ELEVATION GENERAL NOTES**
- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
 - PROVIDE BLOCKING IN WALLS FOR ANCHORING ALL ACCESSORIES WHERE REQUIRED IF NOT EXISTING.
 - ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING AND ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
 - PRIME AND PAINT ALL GYPSUM BOARD AND CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
 - ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.

TOILET/BATH ACCESSORIES SCHEDULE #

#	ITEM	DESCRIPTION	MOUNTING (A.F.F.)	REMARKS
1	M	WALL MOUNTED MIRROR (18" x 30")	40" TO BOTTOM	--
2	SD	SOAP DISH	40" TO TOP	--
3	CH	CUP HOLDER	40" TO TOP	--
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	--
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	--
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	--
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--
8	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--



SECOND FLOOR PLAN – BUILDING TYPE "B"
SCALE: 3/16" = 1'-0" (804 AND 806)



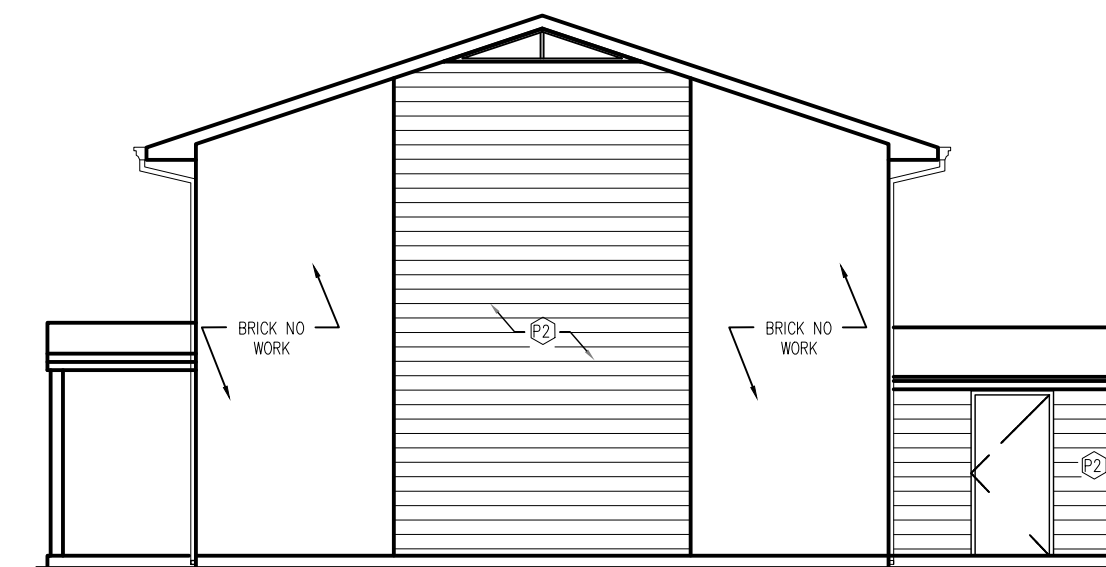
FIRST FLOOR PLAN – BUILDING TYPE "B"
SCALE: 3/16" = 1'-0" (804 AND 806)



FRONT ELEVATION – BLDG. TYPE "B" 804 & 806
SCALE: 1/8"=1'-0" (TYP. OF 2 BLDGS.)



REAR ELEVATION – BLDG. TYPE "B" 804 & 806
SCALE: 1/8"=1'-0" (TYP. OF 2 BLDGS.)



SIDE ELEVATION – BLDG. TYPE "B" 804 & 806
SCALE: 1/8"=1'-0" OPPOSITE SIDE IS A MIRROR IMAGE (TYP. OF 2 BLDGS.)

FLOORING KEY NOTES (F#)

1. REMOVE AND DISPOSE OF EXISTING FLOORING, BASE AND MASTIC THROUGHOUT UNIT. INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.
- * = THROUGHOUT UNIT, TYPICAL.

PAINTING KEY NOTES (P#)

1. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL, ALLOW 50SQFT PER DWELLING UNIT.
- * = THROUGHOUT UNIT, TYPICAL.
2. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS & SIDING AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
3. ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.

GENERAL NOTES:

1. REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES – INSTALL NEW AS SHOWN ON A#01 SHEET FOR BUILDING TYPE, TYPICAL.
2. REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#01 SHEET FOR BUILDING TYPE, TYPICAL.
3. FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
4. SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
6. COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
7. ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
8. WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
9. ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
10. ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
11. ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
12. PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
13. COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.

DOOR SCHEDULE

DOOR NO.	SIZE (F.V.) FIELD VERIFY SIZES AND THICKNESS			DOOR		FRAME			LABEL	HWARE GROUP	DETAILS			REMARKS
	WIDTH	HEIGHT	THICK	(F.V.) MATERIAL	FINISH	ELEV.	(F.V.) MATERIAL	FINISH			ELEV.	HEAD	JAMB	
301A.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	1	A	B&C	---	
301B.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	1	A	B&C	---	
301C.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	1	A	B&C	---	
301D.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	1	A	B&C	---	
303A.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	1	A	B&C	---	
303B.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	1	A	B&C	---	
303C.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	1	A	B&C	---	
303D.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	1	A	B&C	---	

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.

SIGNATURE: xx-xx-2025
DATE: 11-30-2026
LICENSE EXPIRES:

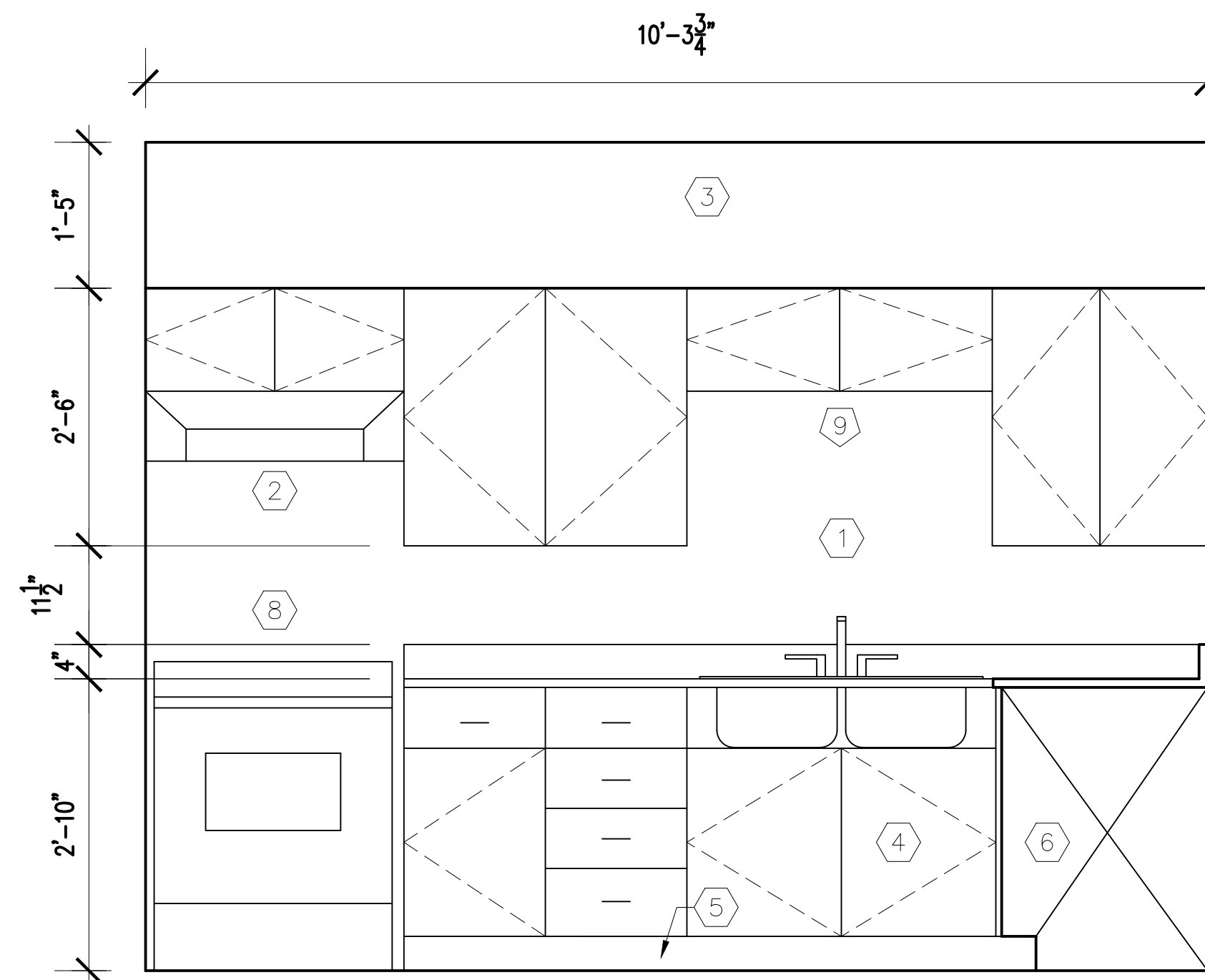
RAD RENOVATION SILVER CREEK MANOR
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON
ST. CLAIR COUNTY HOUSING AUTHORITY
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

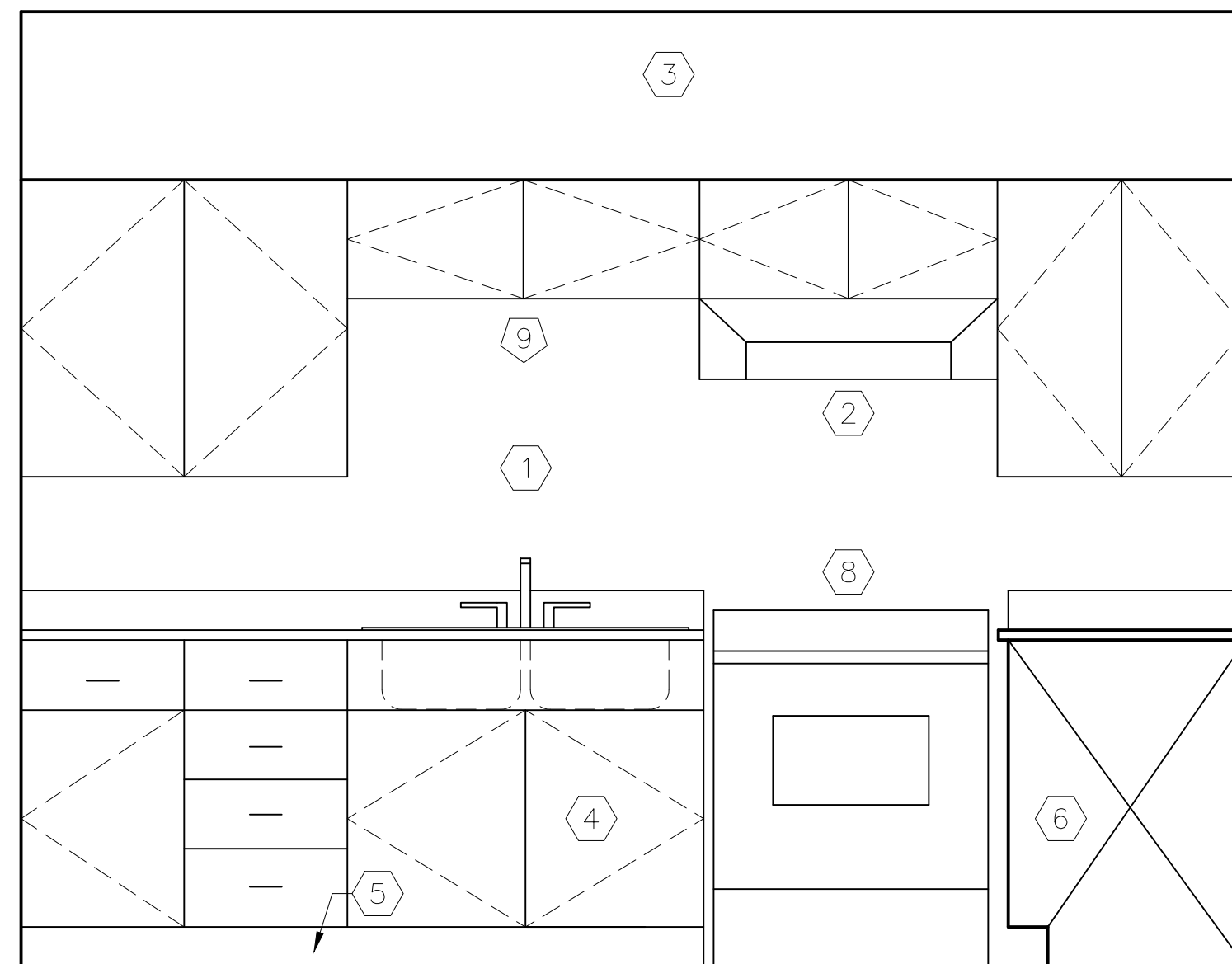
DATE: 04-14-2025
PROJECT NO: 280-0385
DESIGN: JLW DRAWN: JSM CHECK: BGE

IL30-24 O'FALLON
BUILDING TYPE "B"
PLANS AND ELEVATIONS

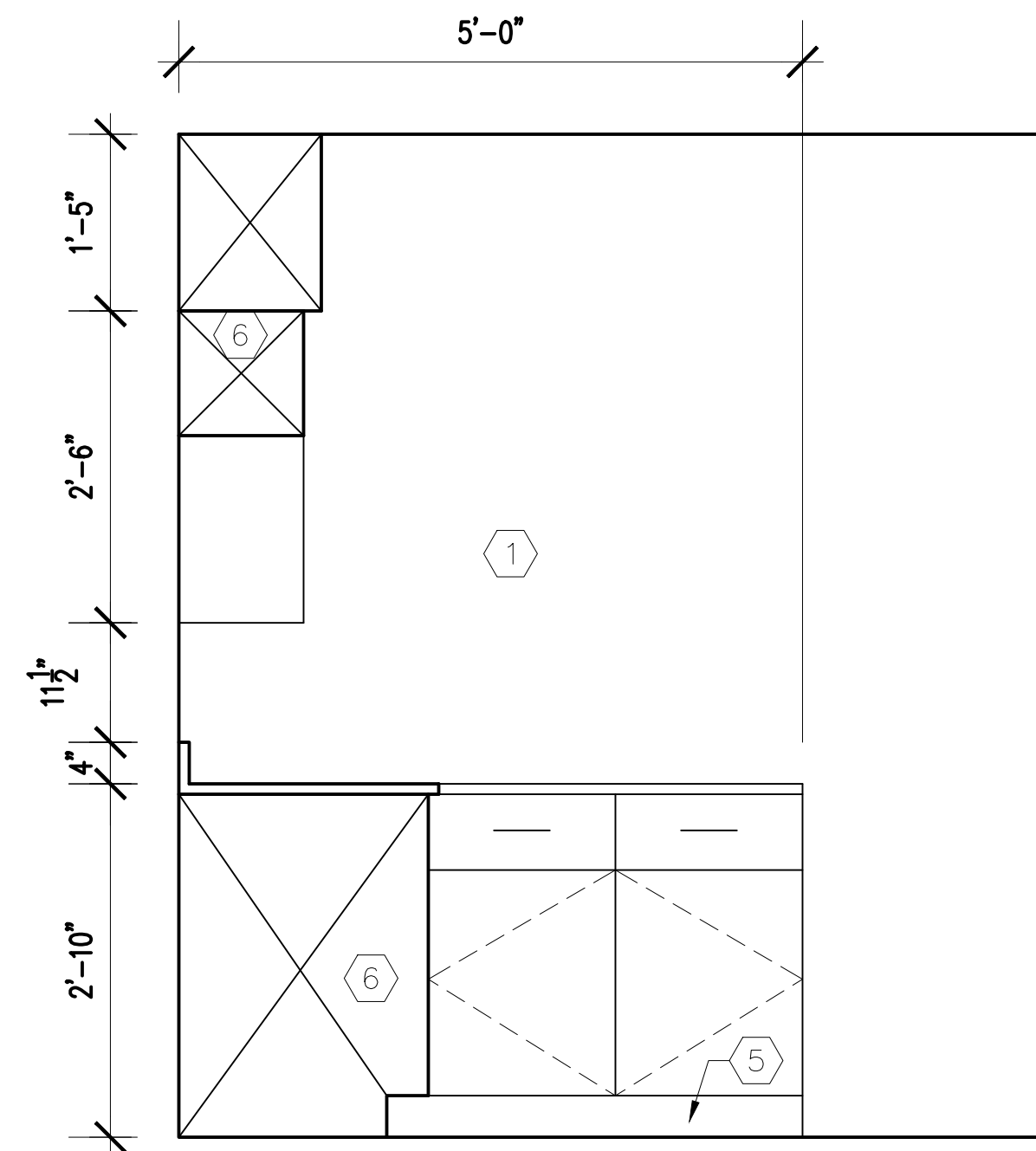
A105



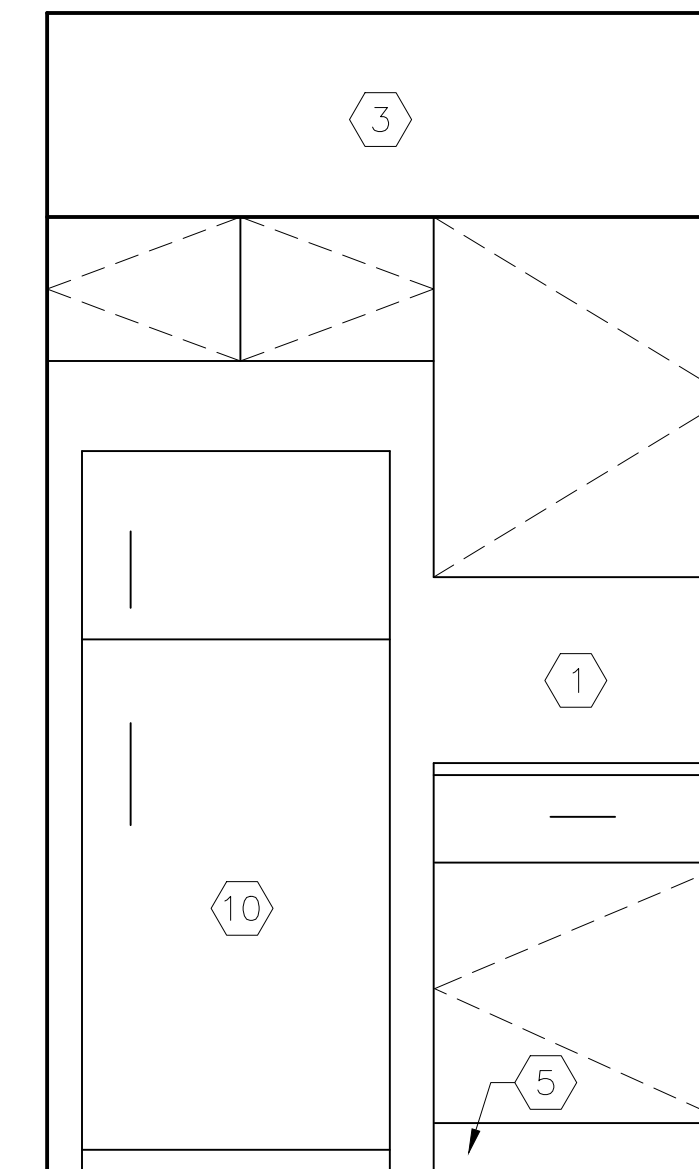
(ALL UNITS 804)



(ALL UNITS 806)
1 CASEWORK ELEV.
 A105.1 SCALE: 3/4"=1'-0"



(ALL UNITS 804 & 806)
2 CASEWORK ELEV.
 A105.1 SCALE: 3/4"=1'-0"



(ALL UNITS 804 & 806)
3 CASEWORK ELEV.
 A105.1 SCALE: 3/4"=1'-0"

KITCHEN GENERAL NOTES

- COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
- GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
- DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
- COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
- FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
- INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
- INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
- INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
- PROVIDE BACKSPASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
- ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
- INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

KITCHEN KEYED NOTES (#)

- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
- NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
- EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
- SINK BASE CABINET.
- 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
- FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
- FINISHED FILLER TO MATCH CABINET FINISH
- WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
- UNDER CABINET LIGHT. COORDINATE w/ ELECTRICAL. INSTALL ON CABINET SURFACE.
- REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.



Hurst-Rosche, Inc.
 PROFESSIONAL DESIGN NUMBER: 184-002098

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 PH: 217.532.3959
 www.hurst-rosche.com
 EAST ST. LOUIS, IL
 MARION, IL
 ARNOLD, MO
 NASHVILLE, TN
 SPRINGFIELD, IL

SIGNATURE
 xx-xx-2025
 DATE
 11-30-2026
 LICENSE EXPIRES

RAD RENOVATION SILVER CREEK MANOR
 AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON
 ST. CLAIR COUNTY HOUSING AUTHORITY
 ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

DATE: 04-14-2025
 PROJECT NO: 280-0385
 DESIGN: JLV DRAWN: JSM CHECK: BGE
 IL30-24 O'FALLON
 BUILDING TYPE "B"
 KITCHEN ELEVATIONS

A105.1



Hurst-Rosche, Inc.
PROFESSIONAL DESIGN NUMBER: 184-00298

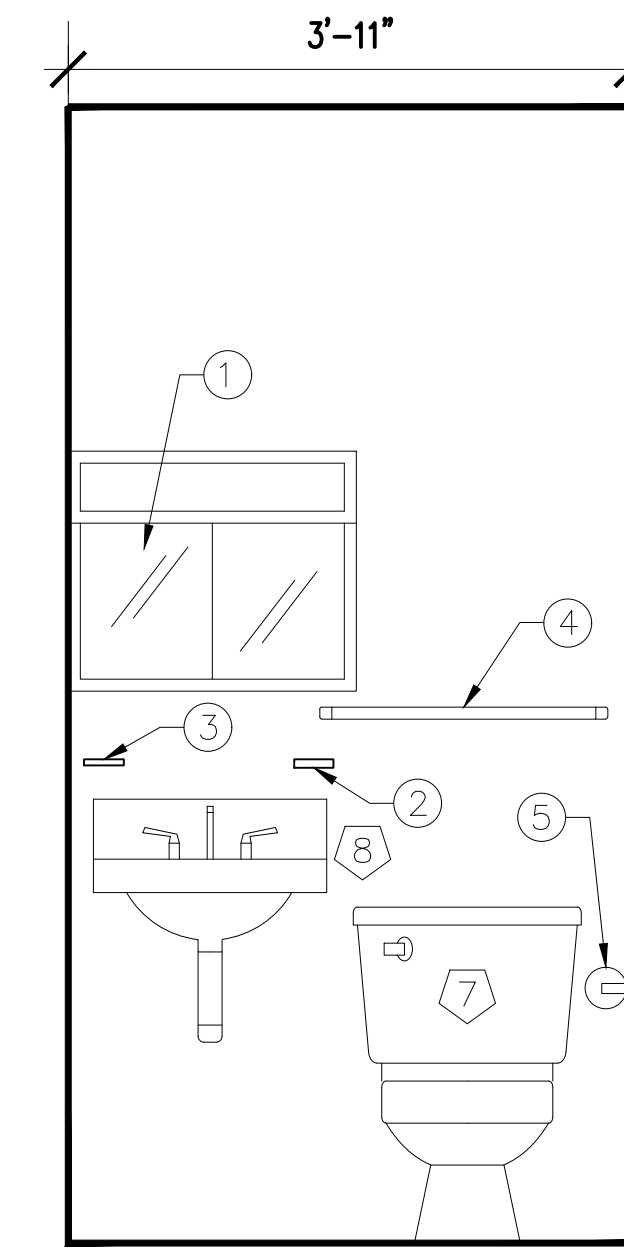
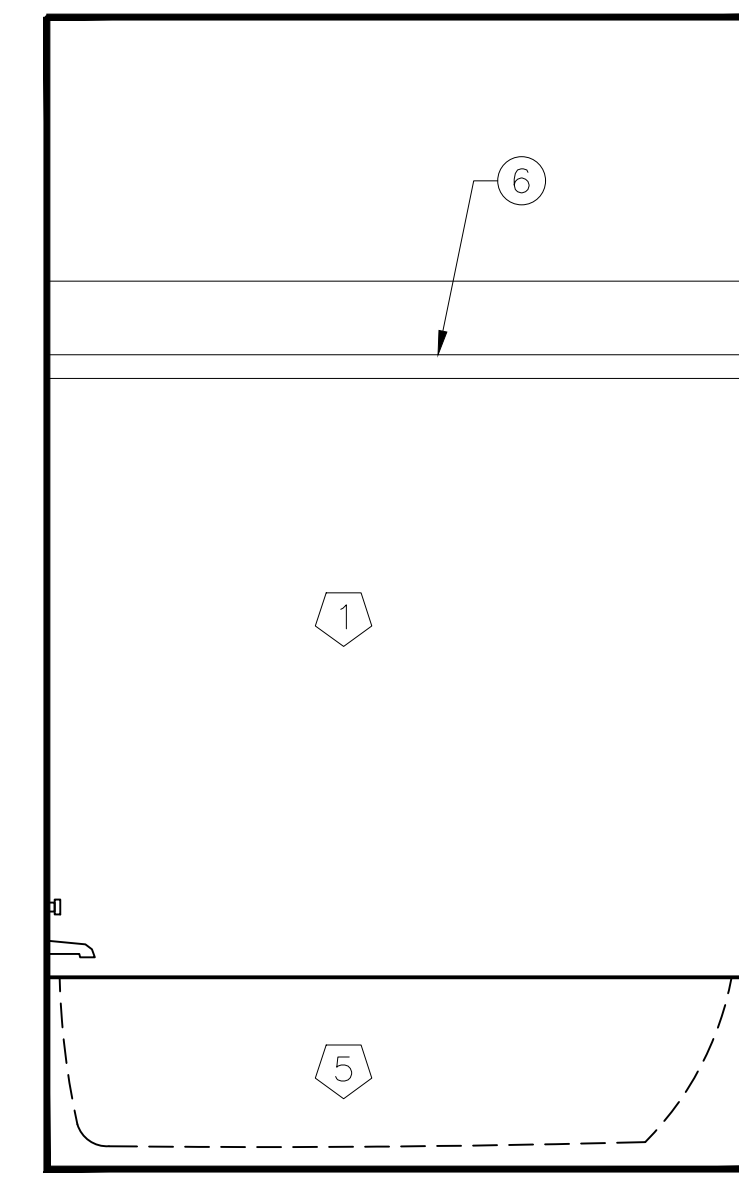
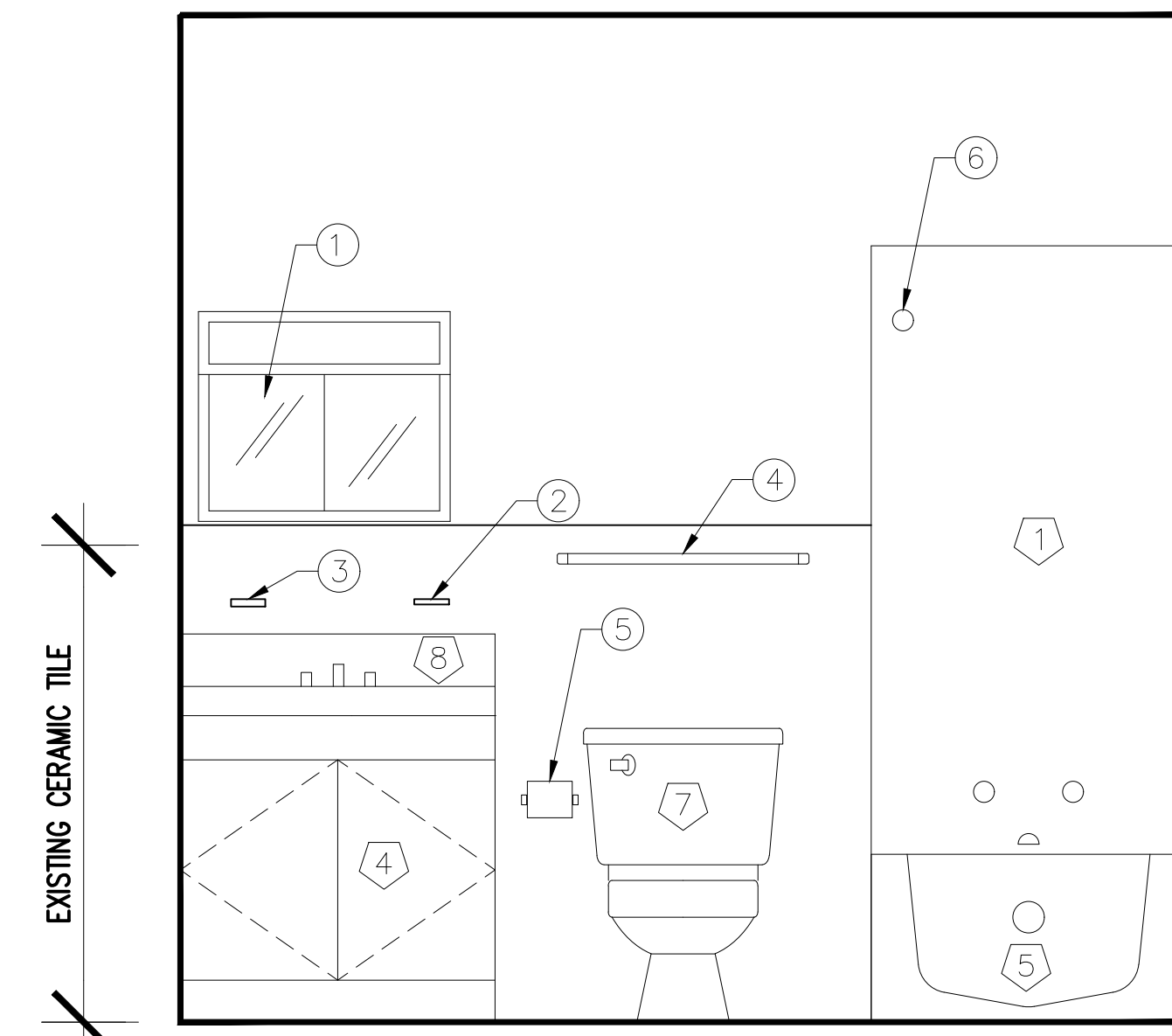
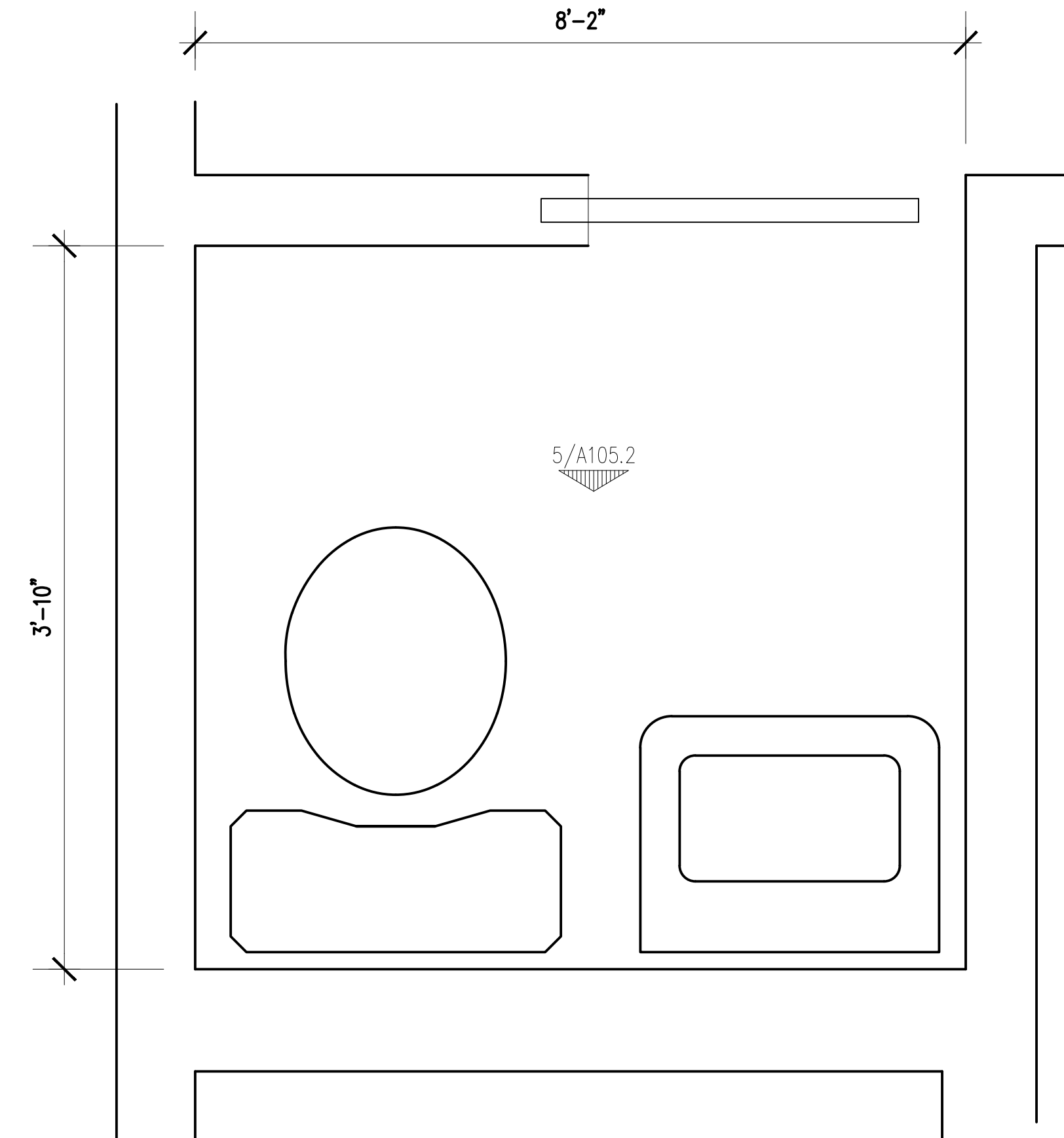
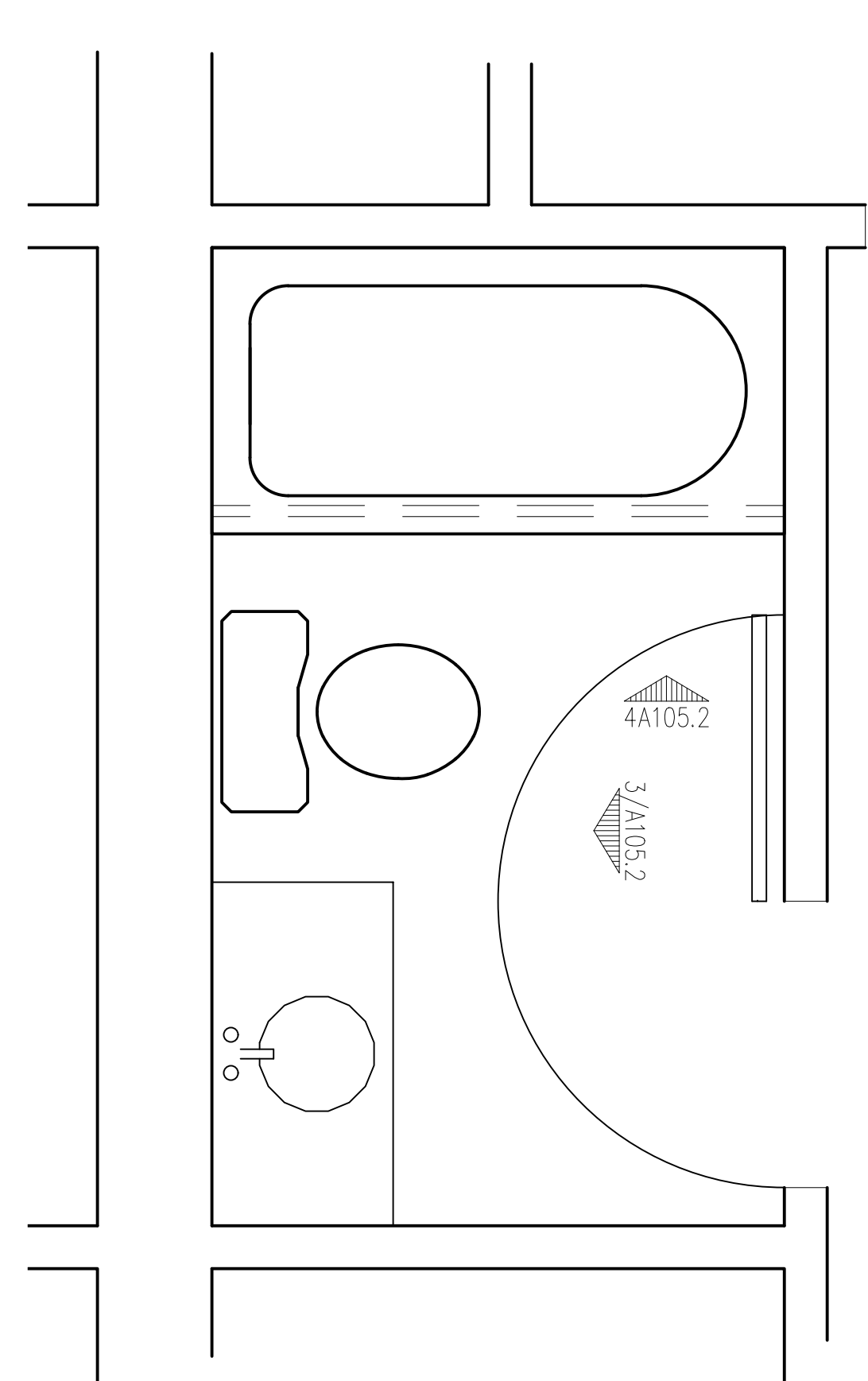
1400 E. TREMONT STREET
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EAST ST. LOUIS, IL
MARION, IL
ARNOLD, MO
NASHVILLE, TN
SPRINGFIELD, IL

TOILET/BATH ELEVATION GENERAL NOTES

- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
- PROVIDE BLOCKING IN WALLS FOR ANCHORING ALL ACCESSORIES WHERE REQUIRED IF NOT EXISTING.
- ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING AND ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
- PRIME AND PAINT ALL GYPSUM BOARD AND CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
- ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.

TOILET/BATH KEY NOTES #

- TUB/SHOWER SURROUND W/CORNER SHELVING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 3/8" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
- LIGHT FIXTURE - COORD. WITH ELECTRICAL
- 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
- VANITY CABINET W/CULTURED MARBLE. TOP W/INTEGRAL SINK.
- NEW TUB. - COORD. WITH PLUMBING
- ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL, THROUGHOUT UNIT, TYPICAL.
- NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
- NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.



(ALL UNITS 804 & 806)

(ALL UNITS 804 & 806)

(ALL UNITS 804 & 806)

TOILET/BATH ACCESSORIES SCHEDULE #

#	ITEM	DESCRIPTION	MOUNTING (A.F.F.)	REMARKS
	M	WALL MOUNTED MIRROR (18" x 30")	40" TO BOTTOM	--
2	SD	SOAP DISH	40" TO TOP	--
3	CH	CUP HOLDER	40" TO TOP	--
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	--
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	--
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	--
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--
8	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--

RAD RENOVATION SILVER CREEK MANOR
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON
ST. CLAIR COUNTY HOUSING AUTHORITY
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

DATE: 04-14-2025
PROJECT NO: 280-0385
DESIGN: JLW DRAWN: JSM CHECK: BGE

IL30-24 O'FALLON
BUILDING TYPE "B"
BATHROOM PLANS AND ELEVATIONS

A105.2

MK.	DATE	DESCRIPTION

DATE: 04-14-2025
PROJECT NO: 280-0385
DESIGN: JLW DRAWN: JSM CHECK: BGE

IL30-24 O'FALLON
BUILDING TYPE "C"
PLANS AND ELEVATIONS

FLOORING KEY NOTES F#

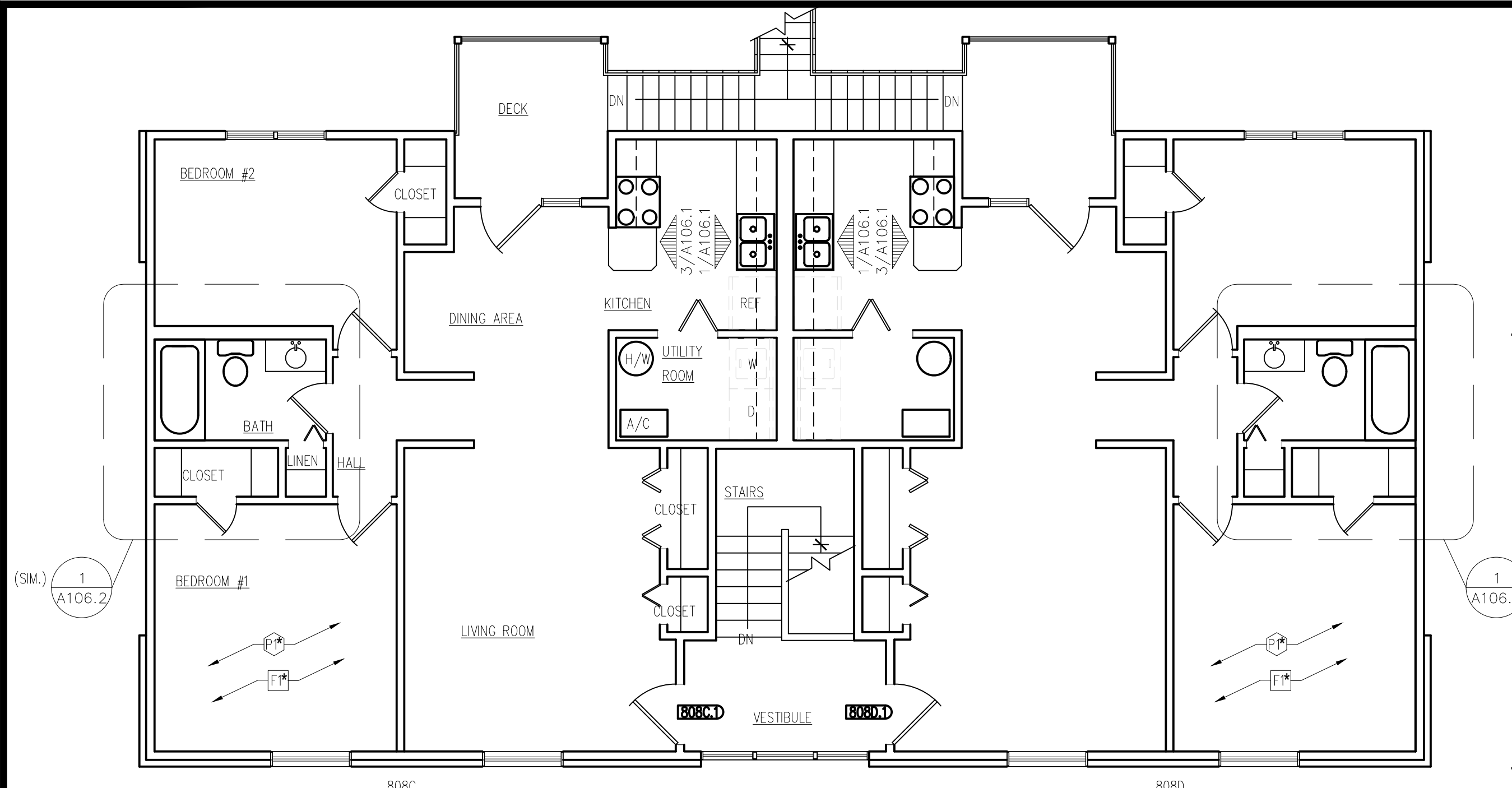
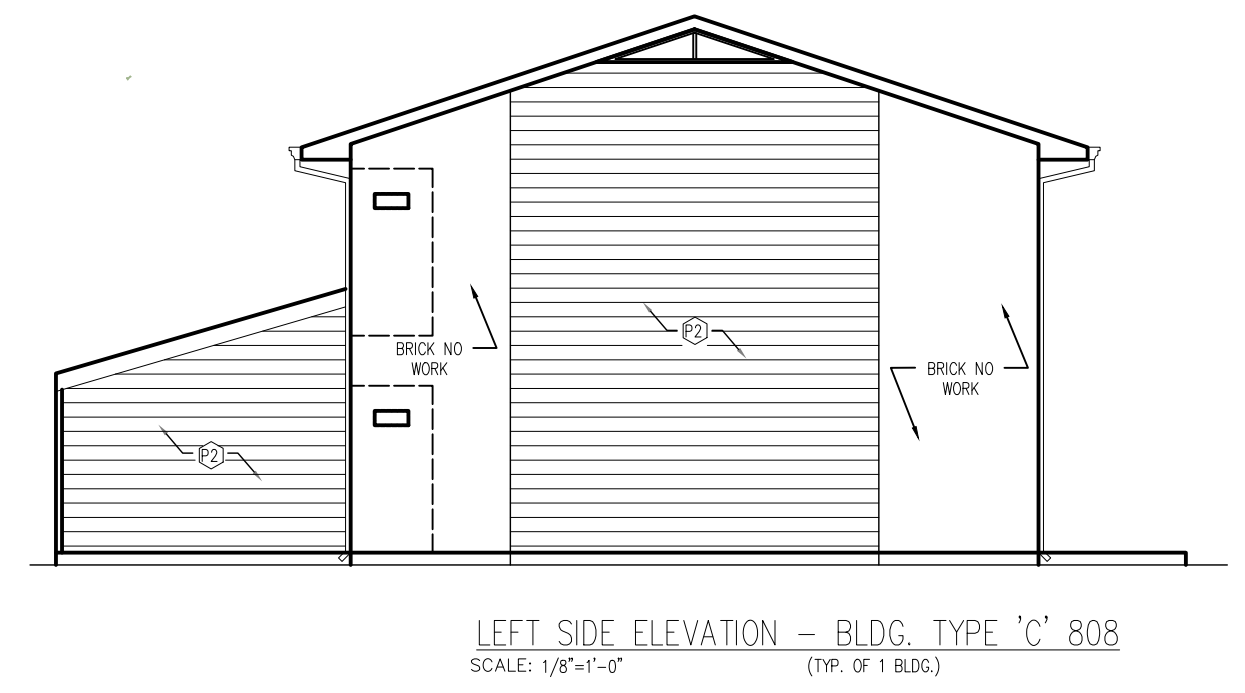
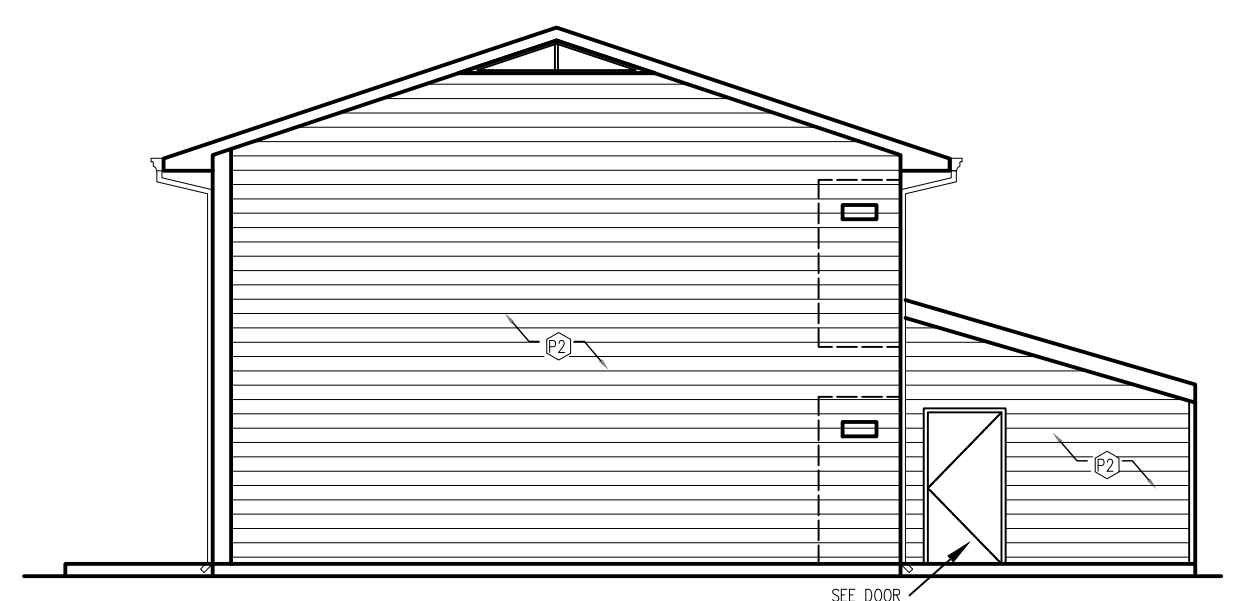
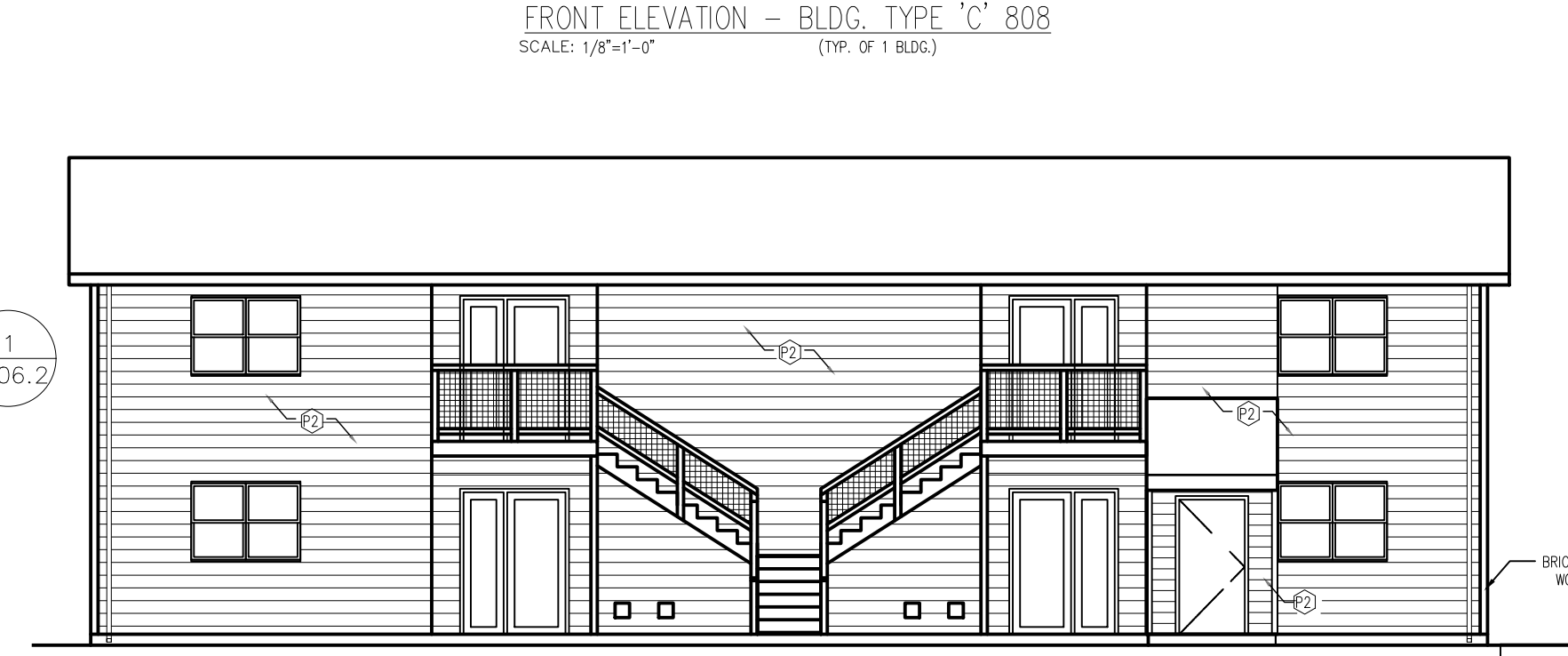
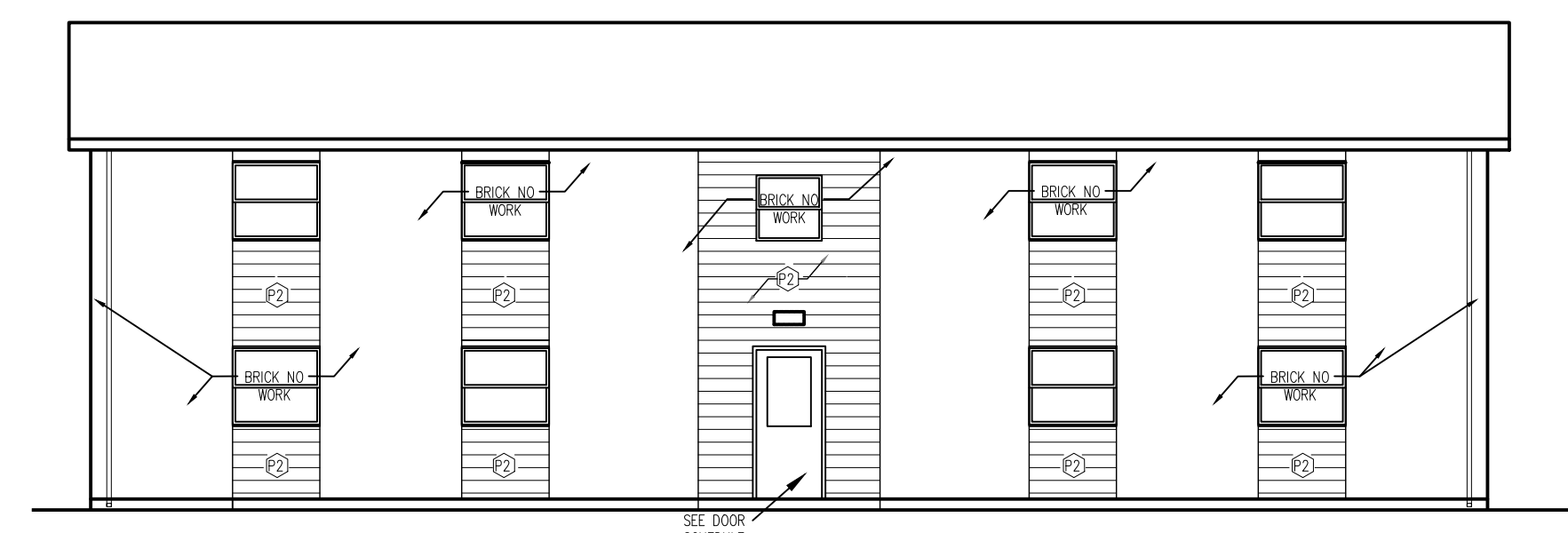
- REMOVE AND DISPOSE OF EXISTING FLOORING, BASE AND MASTIC THROUGHOUT UNIT. INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.

* = THROUGHOUT UNIT, TYPICAL.

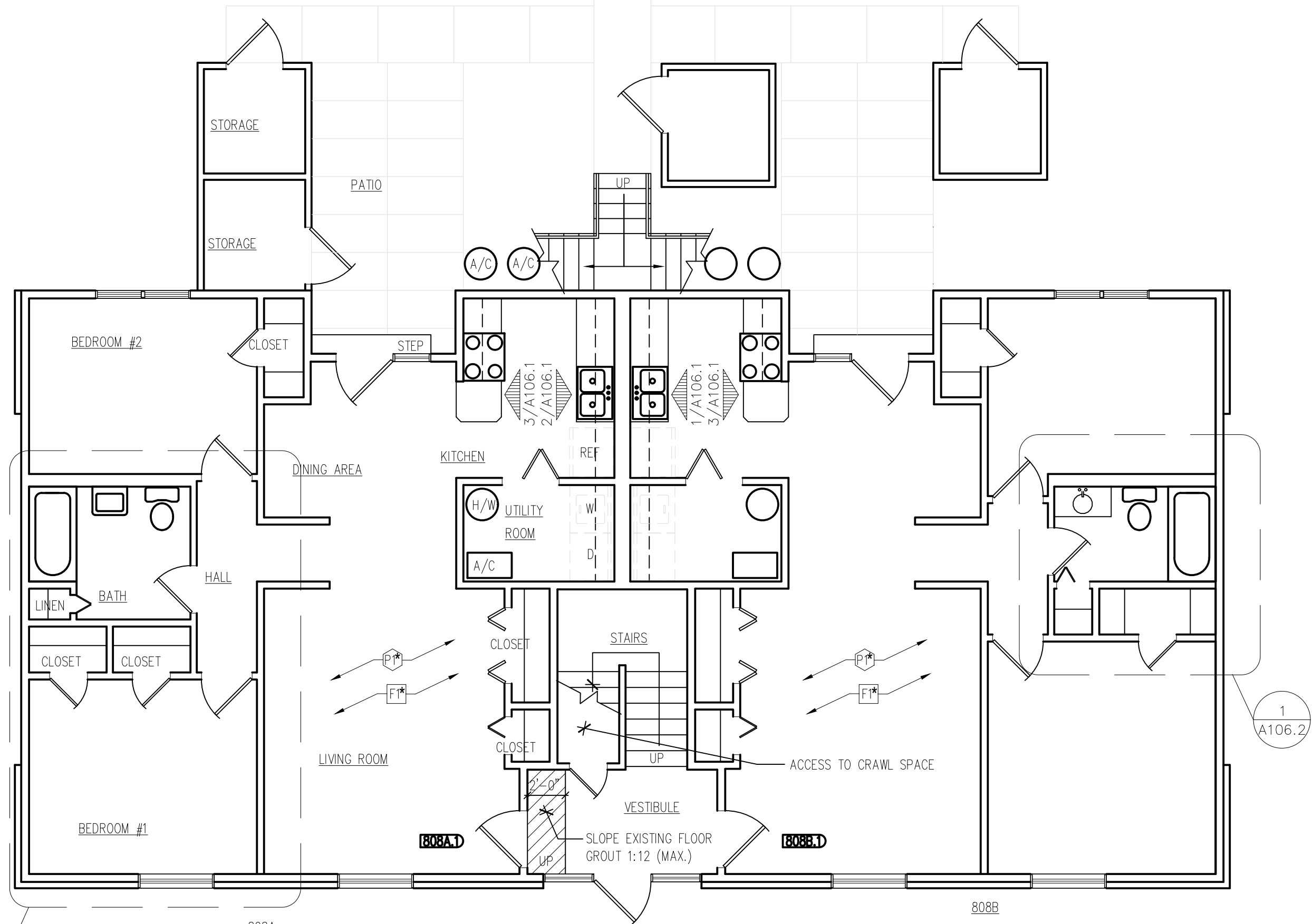
PAINTING KEY NOTES P#

- REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH) @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL, ALLOW 50SOFT PER DWELLING UNIT.
- REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS & SIDING AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
- ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.

- GENERAL NOTES:**
- REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES - INSTALL NEW AS SHOWN ON A#01 SHEET FOR BUILDING TYPE, TYPICAL.
 - REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#01 SHEET FOR BUILDING TYPE, TYPICAL.
 - FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
 - SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
 - COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
 - ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
 - WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
 - ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
 - ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
 - ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
 - PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
 - COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.



SECOND FLOOR PLAN - BUILDING TYPE "C"
SCALE: 3/16" = 1'-0" (808)

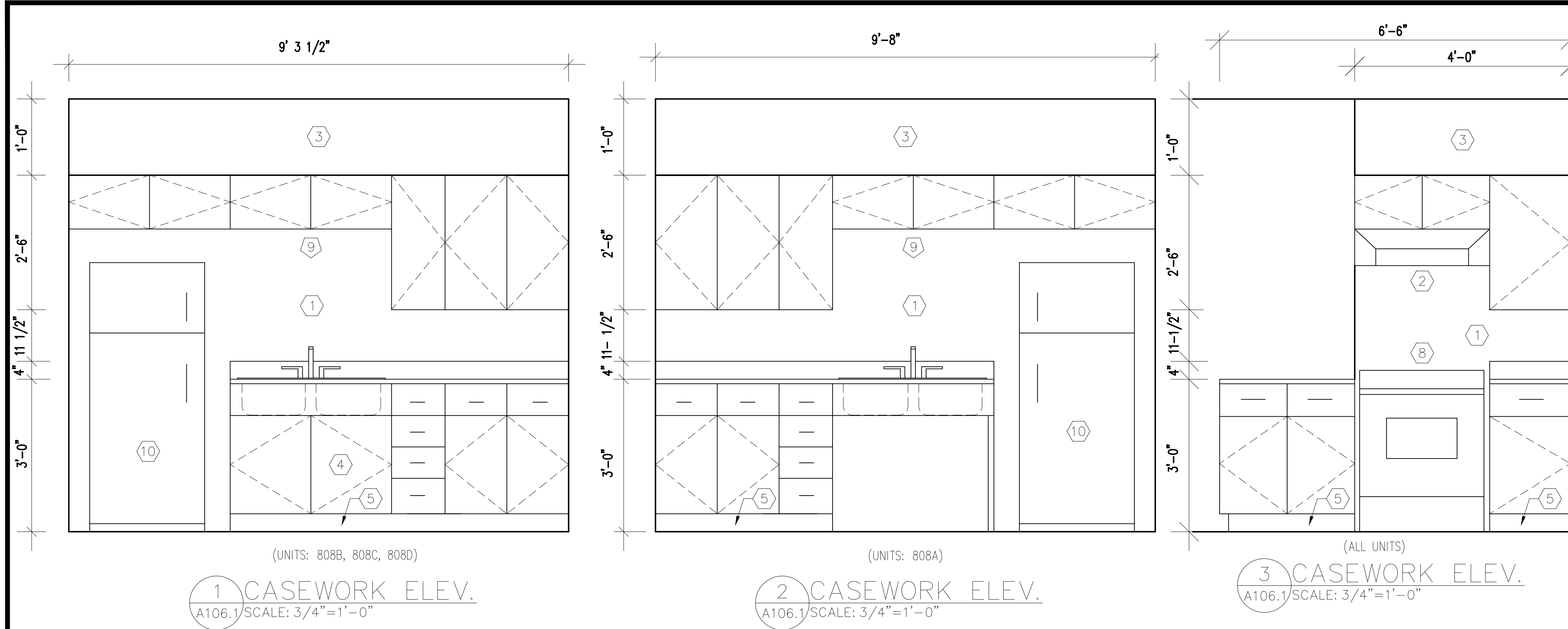


FIRST FLOOR PLAN - BUILDING TYPE "C"
SCALE: 3/16" = 1'-0" (808)

DOOR SCHEDULE

DOOR NO.	SIZE (F.V.) FIELD VERIFY SIZES AND THICKNESS			DOOR		FRAME		LABEL	HWARE GROUP	DETAILS			REMARKS
	WIDTH	HEIGHT	THICK	(F.V.) MATERIAL	FINISH	ELEV.	(F.V.) MATERIAL			FINISH	ELEV.	HEAD	
808A.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	1	A	B&C	---
808B.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	1	A	B&C	---
808C.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	1	A	B&C	---
808D.1	3'-0"	6'-8"	1 3/8"	HC	P	A	WD	P	---	1	A	B&C	---

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.



1 CASEWORK ELEV.
A106.1 SCALE: 3/4"=1'-0"

2 CASEWORK ELEV.
A106.1 SCALE: 3/4"=1'-0"

3 CASEWORK ELEV.
A106.1 SCALE: 3/4"=1'-0"

- KITCHEN KEYED NOTES** #
1. PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
 2. NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
 3. EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
 4. SINK BASE CABINET.
 5. 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
 6. FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
 7. FINISHED FILLER TO MATCH CABINET FINISH
 8. WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
 9. UNDER CABINET LIGHT. COORDINATE w/ ELECTRICAL. INSTALL ON CABINET SURFACE.
 10. REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
- KITCHEN GENERAL NOTES**
1. COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
 2. GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
 3. DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
 4. COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
 5. FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
 6. PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
 7. INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
 8. INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
 9. INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
 10. PROVIDE BACKSPLASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
 11. ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
 12. INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

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PROFESSIONAL DESIGN NUMBER: 184-00298

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11-30-2026

LICENSE EXPIRES

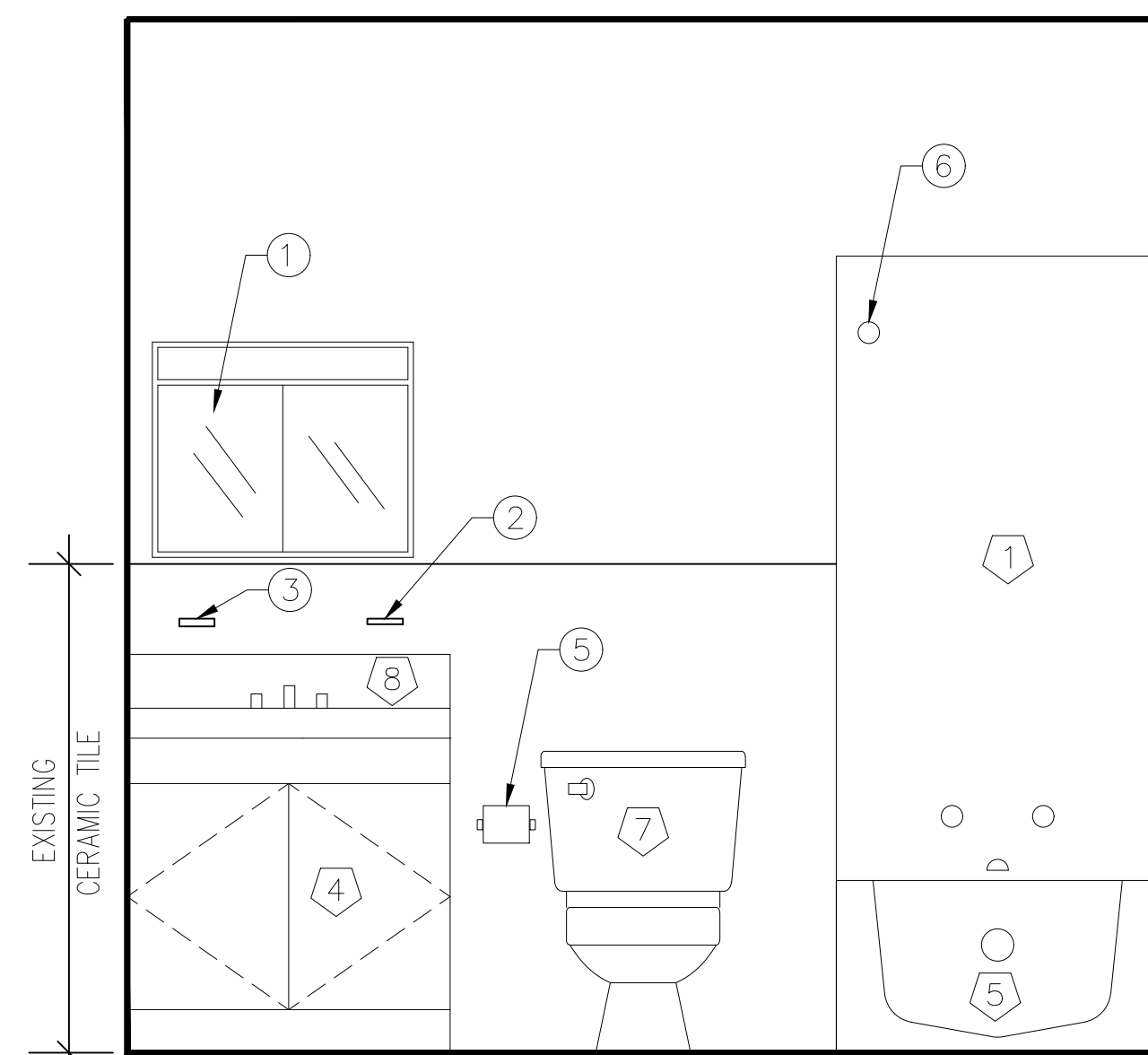
RAD RENOVATION SILVER CREEK MANOR
 AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON
 ST. CLAIR COUNTY HOUSING AUTHORITY
 ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

DATE: 04-14-2025
PROJECT NO: 280-0385
DESIGN: JLV | DRAWN: JSM | CHECK: BGE

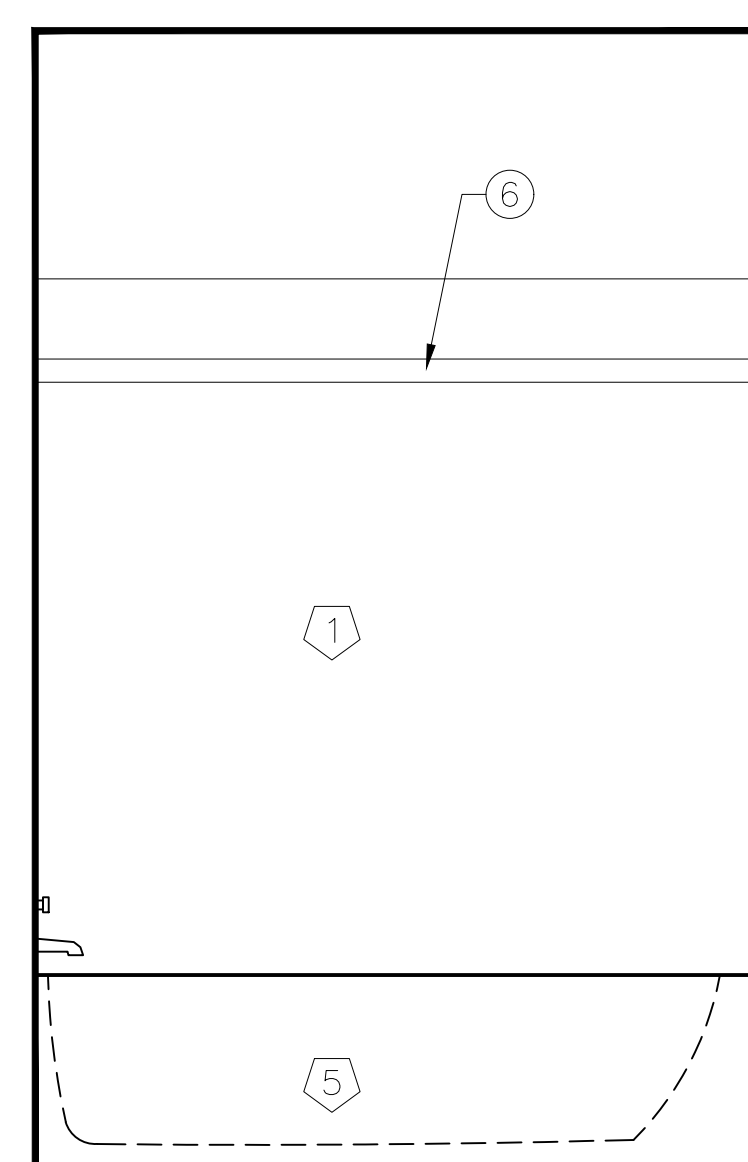
IL30-24 O'FALLON
BUILDING TYPE "C"
PLANS AND ELEVATIONS

A106.1



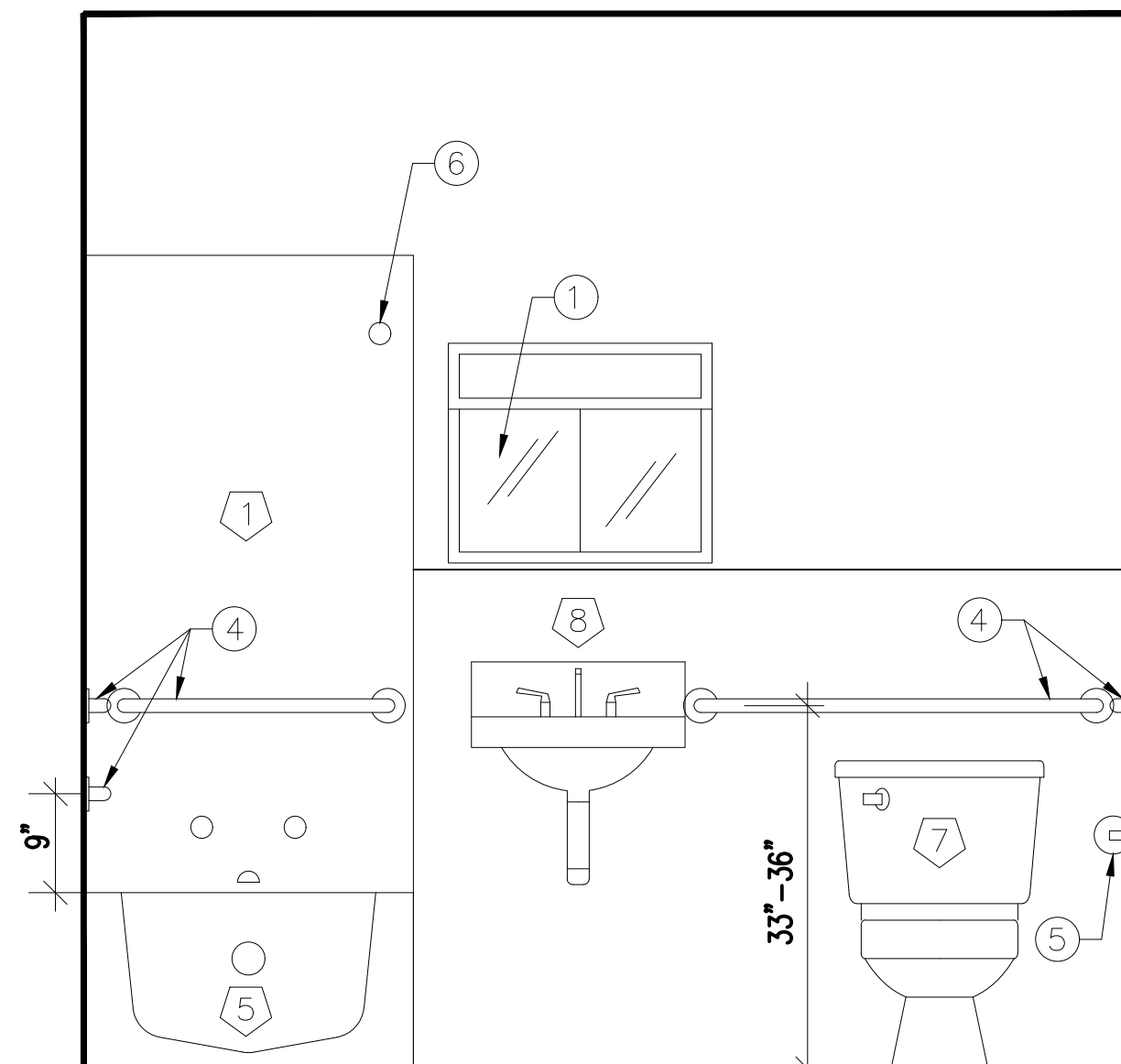
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3 BATHROOM ELEV.
A106.2 SCALE: 3/4"=1'-0"



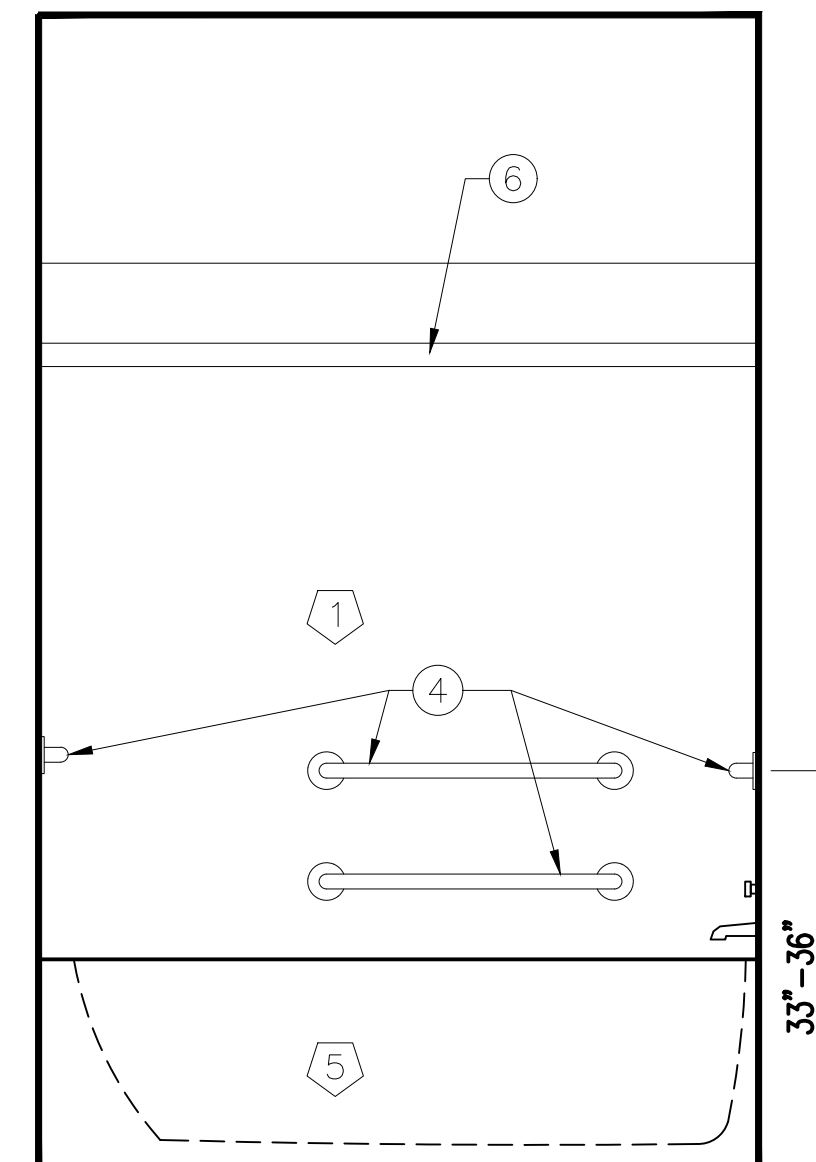
(UNITS: 808B, 808C, 808D)

4 BATHROOM ELEV.
A106.2 SCALE: 3/4"=1'-0"



(UNITS: 808A)

5 BATHROOM ELEV.
A106.2 SCALE: 3/4"=1'-0"



(UNITS: 808A)

6 BATHROOM ELEV.
A106.2 SCALE: 3/4"=1'-0"

TOILET/BATH KEY NOTES #

- TUB/SHOWER SURROUND W/CORNER SHELVING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 3/8" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
- LIGHT FIXTURE - COORD. WITH ELECTRICAL
- 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
- VANITY CABINET W/CULTURED MARBLE TOP W/INTEGRAL SINK.
- NEW TUB. - COORD. WITH PLUMBING
- ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL, THROUGHOUT UNIT, TYPICAL.
- NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
- NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.



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TOILET/BATH ACCESSORIES SCHEDULE #

#	ITEM	DESCRIPTION	MOUNTING (A.F.F.)	REMARKS
	M	WALL MOUNTED MIRROR (18" x 30")	40" TO BOTTOM	--
2	SD	SOAP DISH	40" TO TOP	--
3	CH	CUP HOLDER	40" TO TOP	--
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	--
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	--
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	--
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--
8	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--

TOILET/BATH ELEVATION GENERAL NOTES

- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
- PROVIDE BLOCKING IN WALLS FOR ANCHORING ALL ACCESSORIES WHERE REQUIRED IF NOT EXISTING.
- ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING AND ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
- PRIME AND PAINT ALL GYPSUM BOARD AND CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
- ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.

RAD RENOVATION SILVER CREEK MANOR
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ST. CLAIR COUNTY HOUSING AUTHORITY
ST. CLAIR COUNTY, ILLINOIS

MK. DATE DESCRIPTION

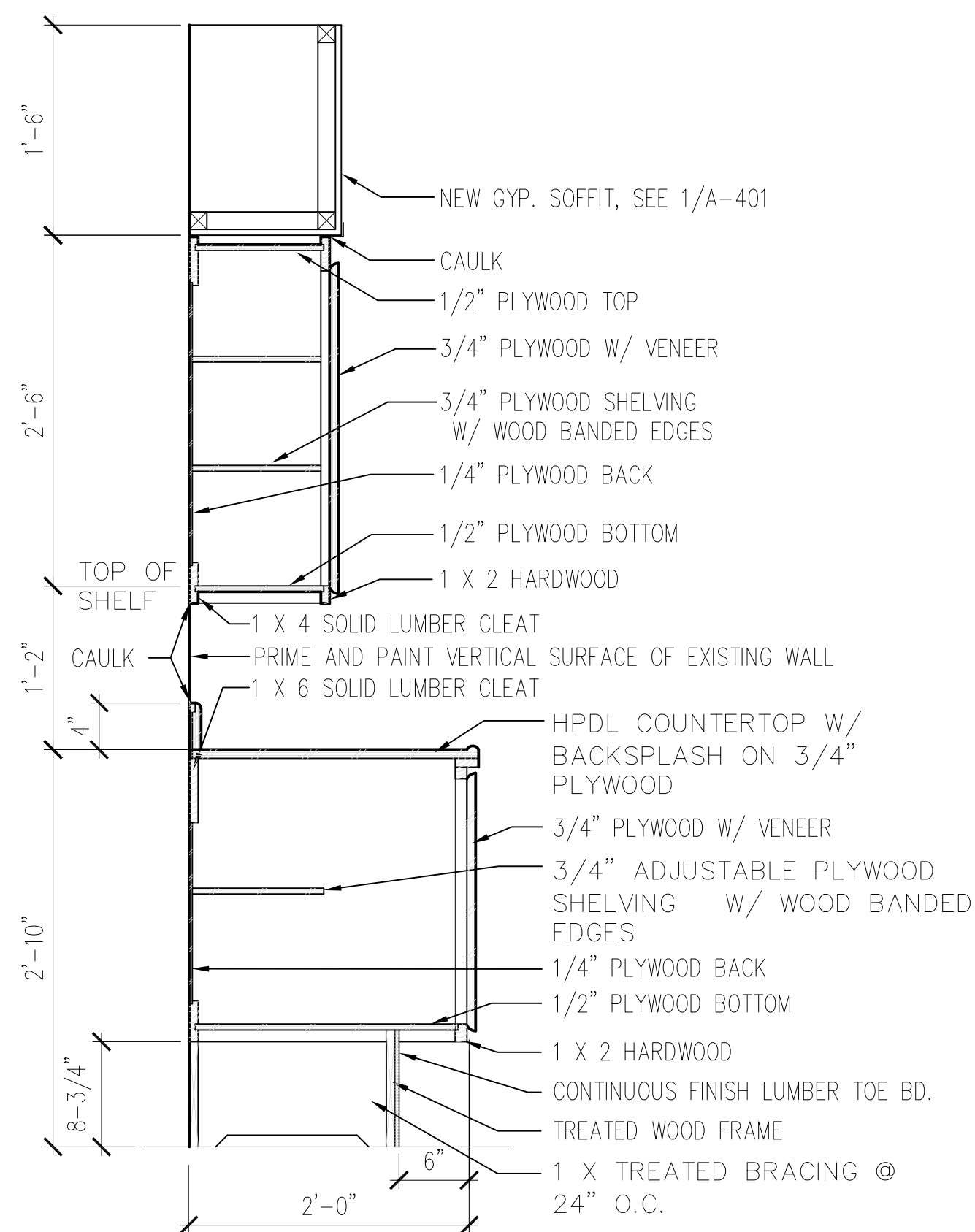
DATE: 04-14-2025

PROJECT NO: 280-0385

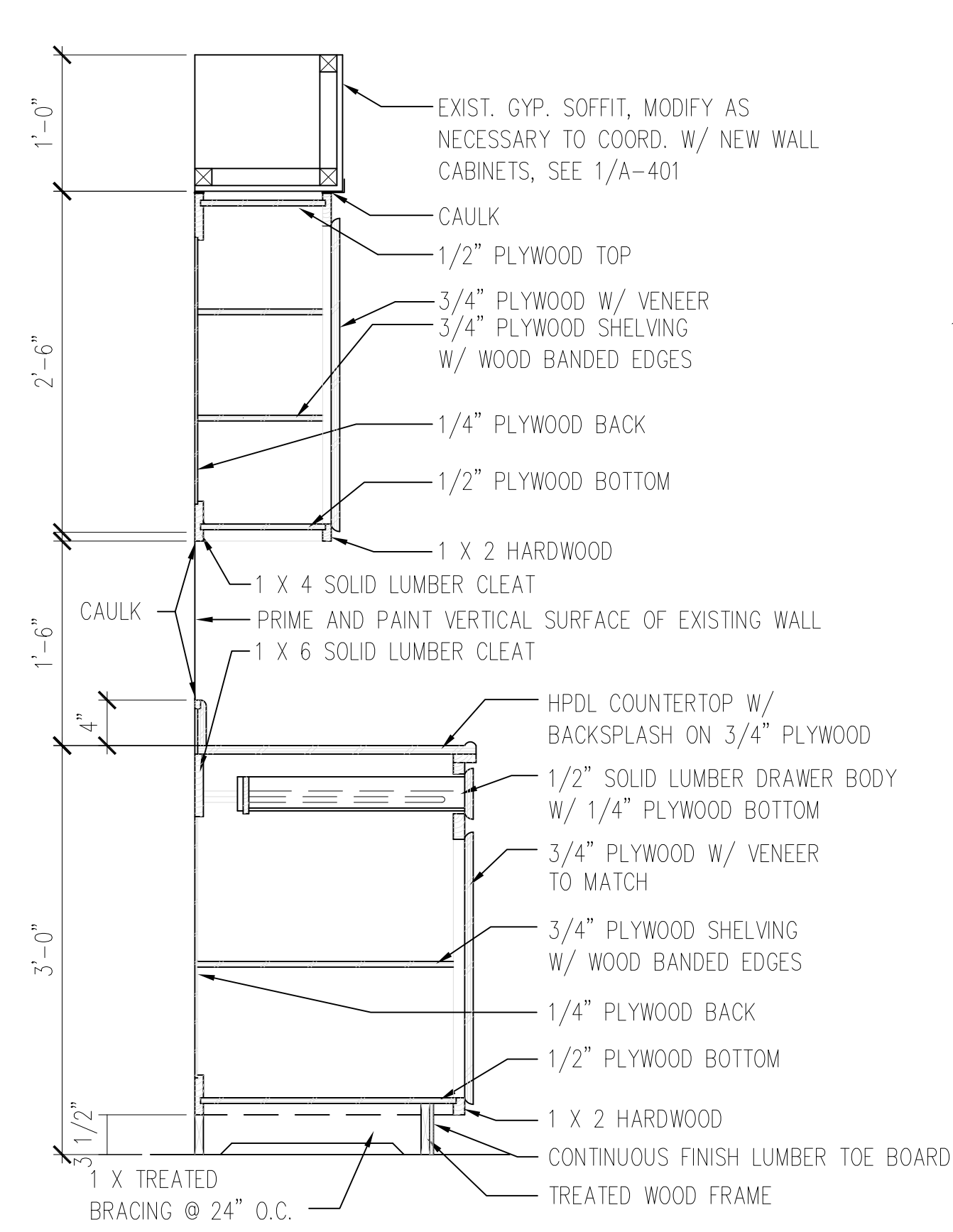
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IL30-24 O'FALLON
BUILDING TYPE "C"
PLANS AND ELEVATIONS

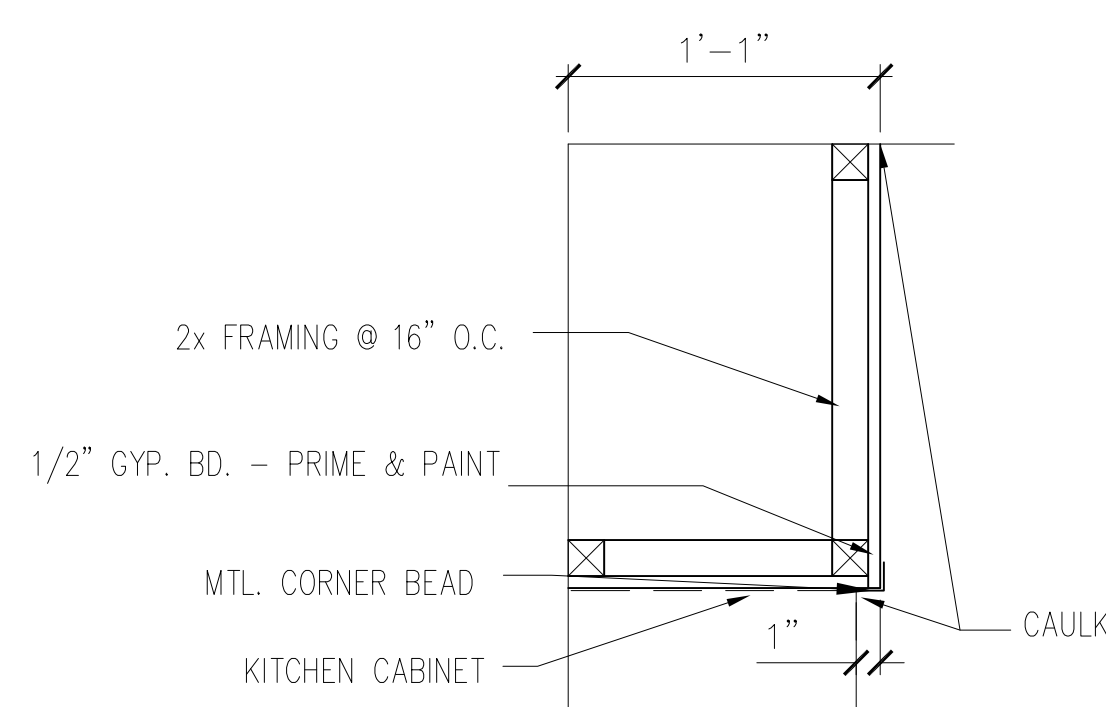
A106.2



1
A-301
TYP. ACCESSIBLE CASEWORK DETAIL
SCALE: 1" = 1'-0" UNIT 205 SMITHTON ON A-104 ONLY



2
A-301
TYP. CASEWORK DETAIL
SCALE: 1" = 1'-0"



3
A-401
TYP. SOFFIT DETAIL
SCALE: 1-1/2" = 1'-0"

KITCHEN KEYED NOTES (#)

1. PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
2. NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
3. EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
4. SINK BASE CABINET.
5. 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
6. FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
7. FINISHED FILLER TO MATCH CABINET FINISH
8. WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
9. UNDER CABINET LIGHT. COORDINATE W/ ELECTRICAL. INSTALL ON CABINET SURFACE.
10. REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.

KITCHEN GENERAL NOTES

1. COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
2. GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
3. DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
4. COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
5. FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
6. PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
7. INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
8. INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
9. INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
10. PROVIDE BACKSPLASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
11. ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
12. INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

HR
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RAD RENOVATION SILVER CREEK MANOR
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON
ST. CLAIR COUNTY HOUSING AUTHORITY
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

DATE: 04-14-2025
PROJECT NO: 280-0385
DESIGN: JLW DRAWN: JSM CHECK: BGE

IL30-14 LEBANON &
IL30-24 O'FALLON
DETAILS

A-301



Hurst-Rosche, Inc.
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RAD RENOVATION SILVER CREEK MANOR
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ST. CLAIR COUNTY HOUSING AUTHORITY
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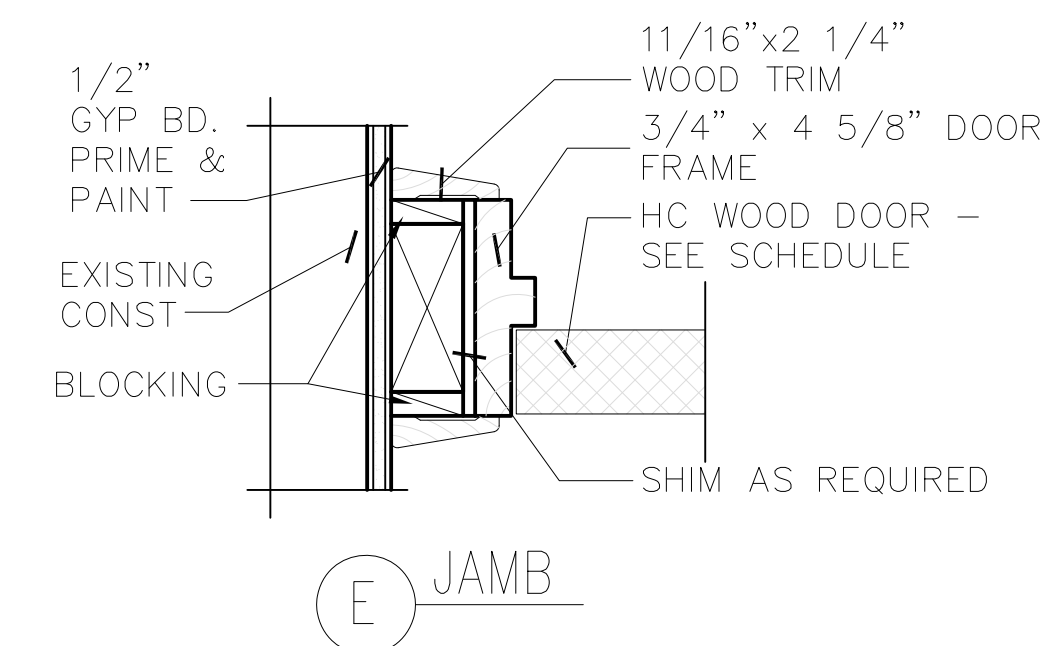
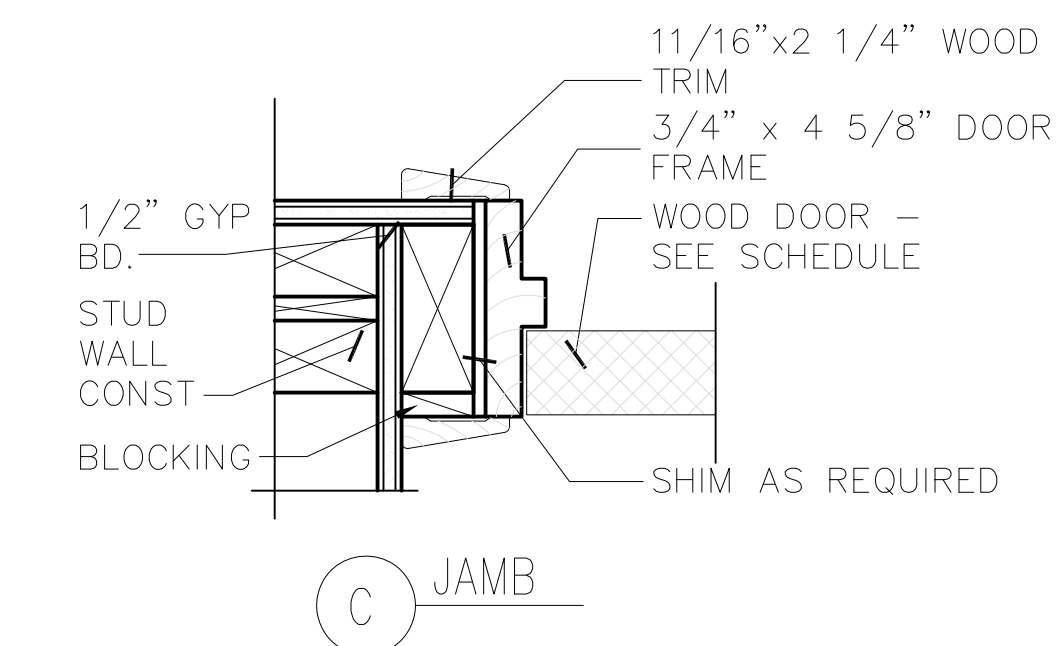
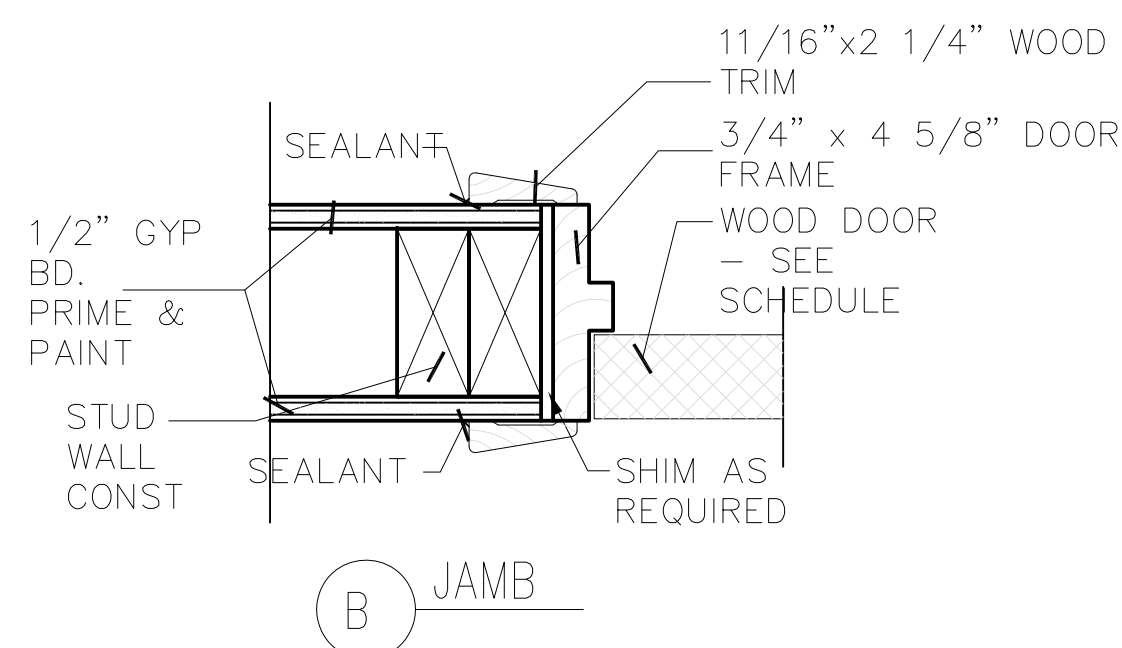
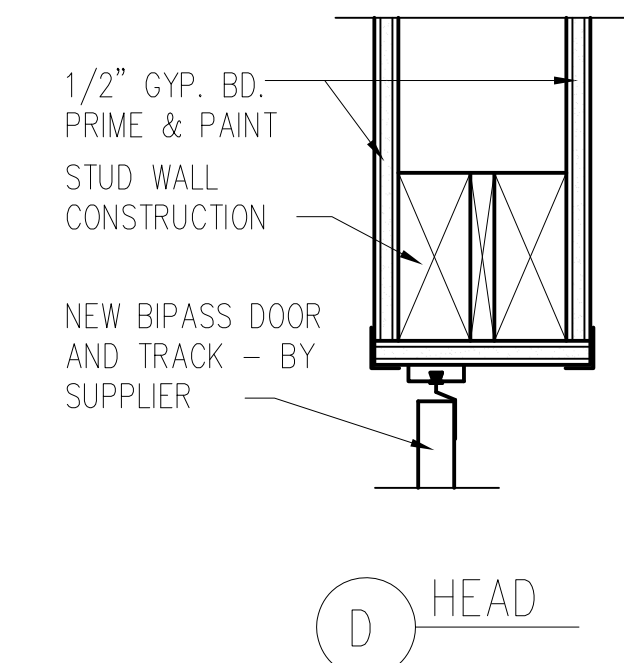
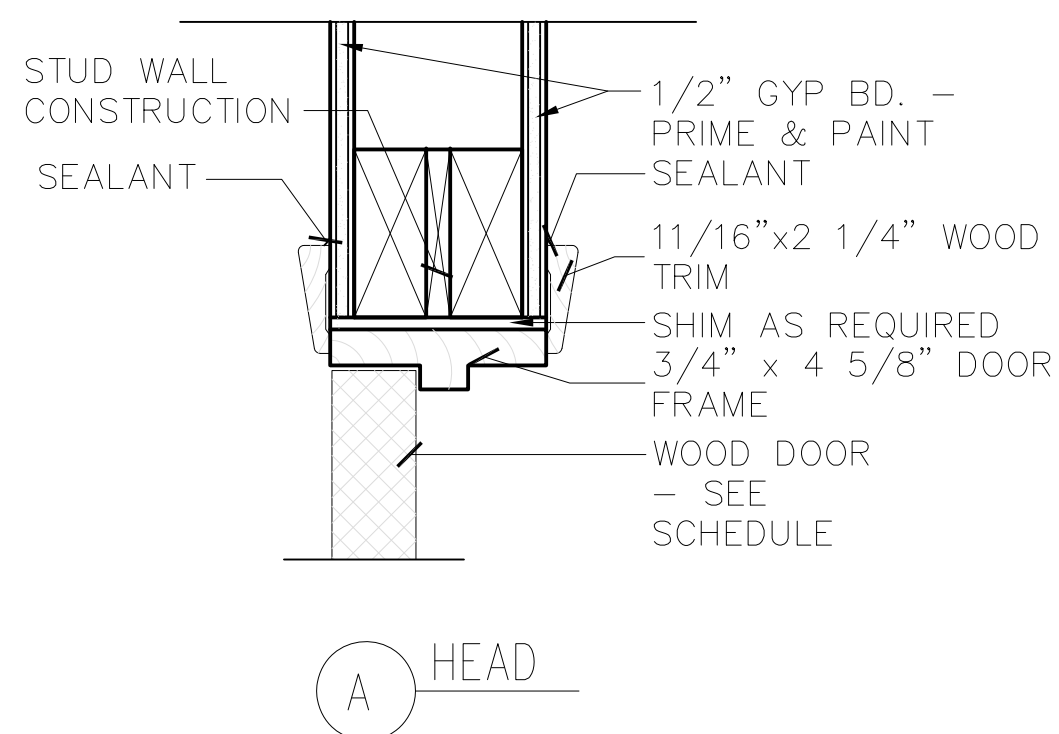
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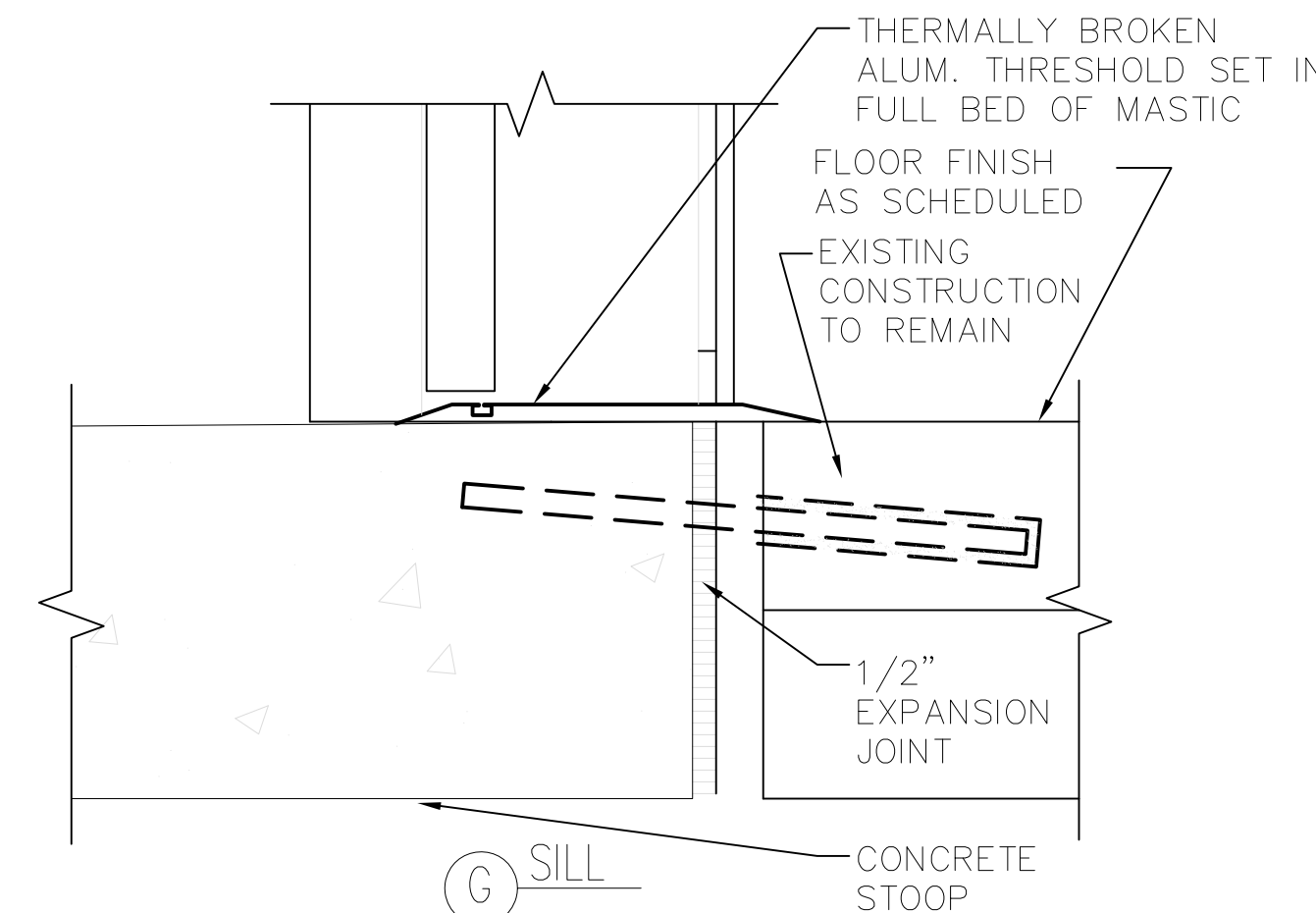
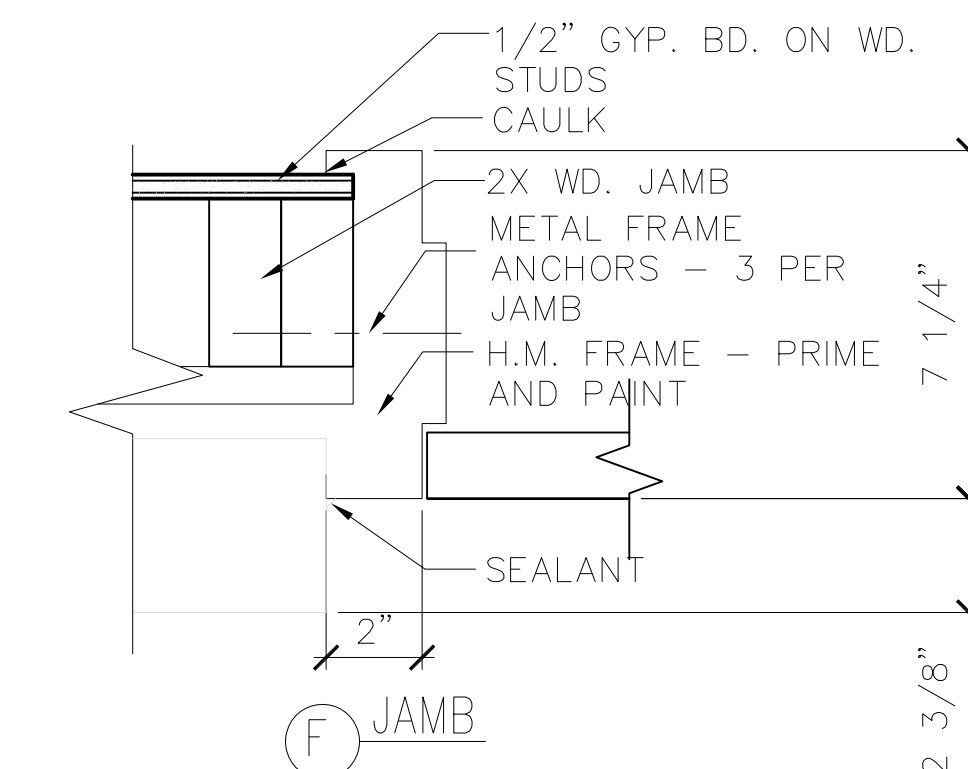
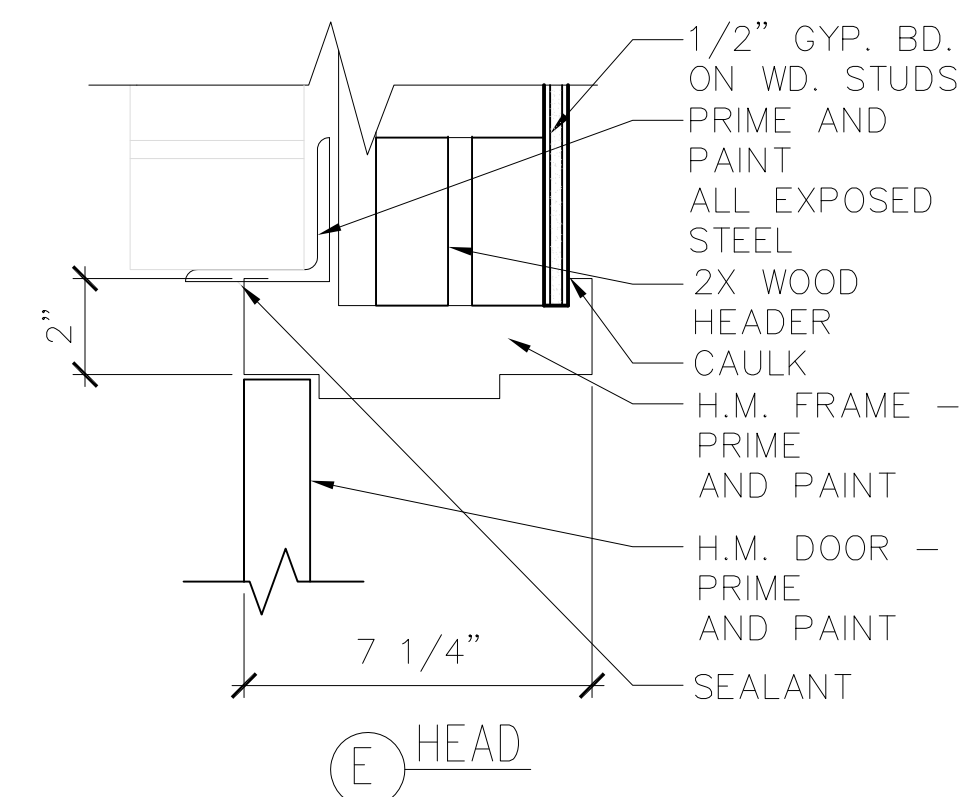
IL30-14 LEBANON &
IL30-24 O'FALLON
DETAILS-DOORS

A-302

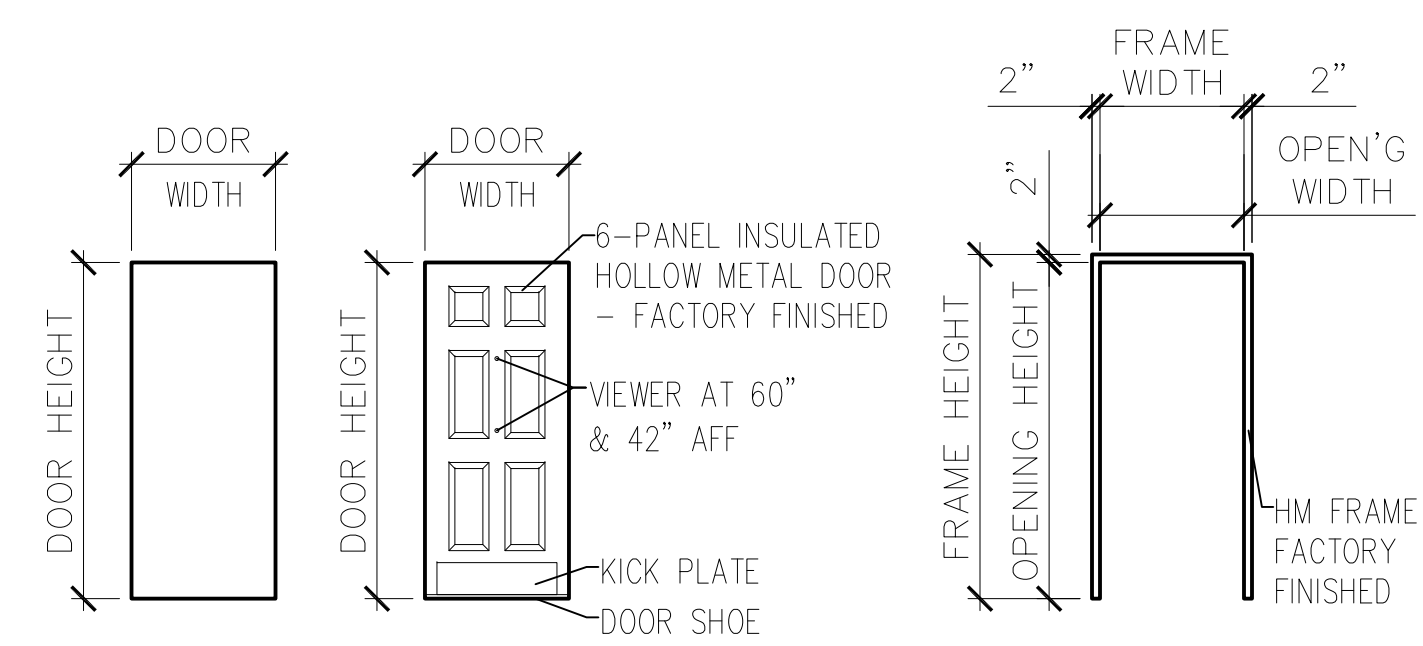
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1 INTERIOR DOOR DETAILS
A-302/SCALE: 1 1/2"=1'-0"



2 EXTERIOR DOOR DETAILS
A-302/SCALE: 3"=1'-0"



3 DOOR AND FRAME ELEVATIONS
A-302/SCALE: 1/4"=1'-0"

LIGHTING/RANGE HOOD SCHEDULE									
ID	MANUF.	MODEL #	VOLT	LAMPS	WATT /EA	TYPE	LOCATION	TYPE	REMARKS
A	LITHONIA	UCEL 24 IN 30K 90CRI SWR WH M6	120	LED	10	24" LED UNDERCABINET	KITCHEN	UNDER-CABINET	SURFACE MOUNT 2' LED OVER SINK, WHITE LENS W/ ROCKER SWITCH
B	AFX	BARV2403L30D1SN	120	LED	22	24" LED VANITY LIGHT	BATH	WALL	WALL MOUNT 2' LONG 26 WATT LED
C	AFX	LCL4100LASD1	120	LED	35	1'x4' LED CEILING	KITCHEN/DINING	CEILING	CEILING SURFACE MOUNTED LED W/ WRAP-AROUND ACRYLIC DIFFUSER
D	HALO	HCL9-12-940-1E-WK	120	LED	12	9" LED CEILING	BEDROOM/HALL	CEILING	9" CEILING SURFACE MOUNTED LED
RH	BROAN	BCSDQ W/ HPF FILTER	120	LED	8	30" LED 2-SPEED HOOD W/ FILTER	KITCHEN RANGE	UNDER-CABINET	WHITE, 2-SPEED FAN AND LED LIGHT W/ REMOTE WALL MOUNTED SWITCHES

NOTES:

1. FIXTURE MAKE/MODEL ARE THE PREFERRED MODEL SELECTED BY PHA. ANY FACTORY LINE CHANGES OR AVAILABILITY ISSUES SHALL REQUIRE AN 'EQUAL' FIXTURE TO BE SUBMITTED WITH THE CURRENT NOMENCLATURE FOR APPROVAL, AND MUST BE CONFIRMED BY PHA PRIOR TO FINAL ACCEPTANCE.

PLUMBING FIXTURE SERVICE SCHEDULE						
TAG	WASTE	TRAP	VENT	COLD	HOT	TEMPERED
WC	3"	INTEGRAL	2"	1/2"	--	--
LAV	1-1/2"	1-1/4"	1-1/4"	3/8"	3/8"	--
SK	1-1/2"	1-1/2"	1-1/4"	1/2"	1/2"	--
SH	2"	2"	1-1/2"	1/2"	1/2"	--
TUB	2"	2"	1-1/2"	1/2"	1/2"	--

NOTES:

- FIELD VERIFY ALL FIXTURE WATER SUPPLY, WASTE AND VENTING SIZES. MODIFY/EXTEND EXISTING PIPING TO NEW FIXTURE LOCATIONS.
- SUPPLY PIPING SHALL BE COPPER, AND DOMESTIC COLD AND HOT WATER PIPING SHALL BE INSULATED THROUGHOUT.
- SANITARY DWV PIPING SHALL BE SCHEDULE-40 PVC.

BATHROOM EXHAUST FAN SCHEDULE				
MARK	LOCATION	BROAN MODEL	CFM (MIN)	SONES (MAX)
<input checked="" type="checkbox"/> EF	BATHROOM	AE50110DCSL	100	0.9

NOTES:

- ACCEPTABLE ALTERNATE MANUFACTURERS: WHIRLPOOL, GE, KITCHEN-AID.
- UL LISTED FOR USE IN INSUL. CEILINGS AND DAMP LOCATIONS, COLOR WHITE.
- MOTOR TO BE PERMANENTLY LUBRICATED.
- PROVIDE ANY NECESSARY ADAPTERS AND RECONNECT TO EXISTING DUCTWORK.
- UNIT SHALL HAVE BACKDRAFT DAMPER.
- BATHROOM WALL LIGHT AND EXHAUST FAN SHALL BE SWITCHED SEPARATELY.

SMOKE ALARM NOTES

- REMOVE EXISTING AND PROVIDE NEW SMOKE ALARMS IN ALL BEDROOMS AND HALLS IN UNITS TO RECEIVE WORK. NEW SMOKE ALARMS IN HALLS SHALL BE COMBINATION SMOKE/CARBON MONOXIDE DETECTOR. EXISTING HARD-WIRED DETECTORS WHERE EXISTING SHALL BE REPLACED WITH NEW HARD-WIRED DETECTORS WITH 9V BATTERY BACKUP. NEW DETECTORS INSTALLED IN NEW LOCATIONS (BEDROOMS WITHOUT EXISTING DETECTORS) SHALL BE BATTERY POWERED WITH A SEALED, TAMPER-RESISTANT, LITHIUM BATTERY. FIELD VERIFY QUANTITY AND LOCATION.
- ALL DETECTORS SHALL MEET UL2034, UL217, NFPA72 & HUD REQUIREMENTS.
- ADA UNIT ONLY: PROVIDE NEW ADA SMOKE DETECTORS WITH HORN AND STROBES PROVIDE NEW STROBE VISIBLE ALARM DEVICE IN BATHROOM INTERCONNECTED TO EXISTING SMOKE ALARM SYSTEM.
- INSTALL NEW SMOKE ALARMS IN ACCORDANCE WITH LOCAL CODE AND/OR STATE REGULATIONS:
 - INSTALL NEW SMOKE ALARM TO MANUFACTURER'S WRITTEN SPECIFICATION TO PROVIDE A COMPLETE, FUNCTIONAL SYSTEM. UPON COMPLETION OF INSTALLATION LEAVE PRODUCT BOX WITH WRITTEN INSTRUCTIONS IN UNIT.
 - EXISTING SMOKE ALARMS IN UNITS SHALL BE REMOVED AND REPLACED WITH NEW SMOKE ALARMS AS INDICATED.
 - INSTALL NEW SMOKE ALARMS IN BEDROOMS AND HALLS AS INDICATED.
 - HARD-WIRED SMOKE ALARMS SHALL BE CONNECTED TO EXISTING POWER CIRCUIT. MODIFY AND EXTEND CONDUCTORS AS REQUIRED TO NEW SMOKE ALARM LOCATIONS. CONNECT TANDEM ALERT CIRCUIT TO ALL DETECTORS IN UNIT.
 - CONTRACTOR SHALL TEST EACH SMOKE DETECTOR FOR PROPER INSTALLATION.
 - UPON COMPLETION OF WORK CLEAN DEVICE AND LEAVE AREA CLEAN AND FREE OF DEBRIS.

ELECTRICAL GENERAL NOTES

- MODIFY/EXTEND EXISTING CIRCUIT AS NECESSARY TO INSTALL NEW ELECTRICAL DEVICES, FIXTURES, AND EQUIPMENT AS SHOWN AND/OR SPECIFIED..
- REPLACE EXISTING KITCHEN AND BATH RECEPTACLES LOCATED ABOVE COUNTERTOPS WITH NEW GFCI RECEPTACLES AND NEW COVER PLATES.
- REMOVE EXISTING AND PROVIDE NEW KITCHEN RANGE HOOD AT ALL UNITS TO RECEIVE NEW KITCHEN CASEWORK. SEE SCHEDULE THIS SHEET.
- AT ALL UNITS TO RECEIVE KITCHEN RENOVATIONS: REPLACE EXISTING CEILING MOUNTED LIGHT FIXTURES IN KITCHEN AND DINING AREAS WITH NEW LIGHT FIXTURE TYPE 'C' PER REVISED LIGHT FIXTURE SCHEDULE ON THIS SHEET. (QUANTITY 2 PER UNIT). REPLACE HALL AND BEDROOM FIXTURES WITH TYPE D FIXTURES.
- REMOVE EXISTING AND PROVIDE NEW BATHROOM CEILING EXHAUST FAN/LIGHT IN ALL UNITS TO RECEIVE BATHROOM RENOVATIONS. SEE SCHEDULE THIS SHEET.
- CONTRACTOR SHALL RELOCATE ALL ELECTRICAL ITEMS IN WALLS AND CEILINGS SCHEDULED TO BE DEMOLISHED ON "A" SHEETS., FIELD VERIFY QUANTITY AND LOCATION. COORDINATE WITH GENERAL WORK.
- LOCATIONS, SIZES, AND ITEMS SHOWN ARE BASED ON ORIGINAL DESIGN DOCUMENTS AND SITE OBSERVATION. CONTRACTOR SHALL VERIFY ALL EXG. CONDITIONS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL NOTIFY A/E OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL DISCOVERED CONDITIONS.
- DEVICES, EQUIPMENT, AND FIXTURE LOCATIONS AND QUANTITIES MAY VARY, AND MUST BE FIELD VERIFIED BY CONTRACTOR PRIOR TO WORK.
- EXG. CIRCUITS TO REMAIN SHALL BE TERMINATED IN THE NEAREST REMAINING BOX, AND EITHER CONNECTED AT EXG. LOCATION TO NEW DEVICES AND FIXTURES, OR SPLICED/EXTENDED FROM THERE TO THE NEW RECEPTACLE AND/OR OTHER CIRCUITS AS REQUIRED..
- ALL NEW BRANCH CIRCUITS SHALL BE CONCEALED IN WALL, CEILING, OR SOFFIT SPACE.
- ALL NEW CONDUCTORS TO BE MINIMUM #12 AWG COPPER UNLESS INDICATED OTHERWISE.
- CONTRACTOR SHALL PROTECT ALL ITEMS AND EXISTING. SURFACES THAT ARE TO REMAIN.
- MODIFY EXG. CIRCUITS AND PROVIDE NEW CONDUCTORS AND CONNECT TO EXG. CIRCUITS AS REQUIRED FOR INSTALLATION OF NEW OR RELOCATED ELECTRICAL DEVICES, FIXTURES AND APPLIANCES.
- CONTRACTOR SHALL PROVIDE ELECTRICAL CONNECTIONS AT ALL NEW EQUIPMENT TO EXG. OR NEW CIRCUIT, AS REQUIRED. CONTRACTOR SHALL PROVIDE NEW CONDUCTORS IN FLEXIBLE METALLIC CONDUIT FROM EXISTING. JUNCTION BOX OR DISCONNECT.
- CONTRACTOR SHALL VERIFY ELECTRICAL REQUIREMENTS FOR ALL NEW EQUIPMENT.
- CONTRACTOR SHALL DEMOLISH ALL OBSTRUCTIONS AS REQUIRED TO PERFORM NEW WORK, INCLUDING HOMERUN TO NEW CIRCUITS AND ANY REROUTING/REWIRING NECESSARY FOR RELOCATED CIRCUITS.
- REPLACE ALL EXISTING ELECTRICAL DEVICE PLATES AND BOX COVERS AT EXISTING WIRING DEVICES TO REMAIN (WALL SWITCHES, RECEPTACLES, JUNCTION BOXES).
- ALL GROUNDING SHALL BE DONE IN ACCORDANCE WITH N.E.C.

PLUMBING GENERAL NOTES

- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL WATER, SANITARY, VENT PIPING, VALVES, AND APPURTENANCES WITH RELATED EQUIPMENT, COMPONENTS AND DEVICES.
- ALL FIXTURES AND PIPING SHALL BE SIZED, VENTED AND TRAPPED IN ACCORD WITH THE STATE OF ILLINOIS PLUMBING CODE, CURRENT EDITION AND PLUMBING CODES ADOPTED BY THE HOUSING AUTHORITY, CURRENT EDITIONS.
- FOR CLARITY ON PLANS, VENT PIPING IS NOT SHOWN. CONTRACTOR SHALL GROUP VENT PIPING AND ROUTE TO V.T.R.(S) AS REQUIRED.
- PIPING IN THE MECHANICAL ROOMS MAY BE ROUTED EXPOSED. PIPING IN ALL OTHER AREAS SHALL BE CONCEALED IN CHASE, WALLS, CEILING, FLOORING, ETC. UNLESS INDICATED OTHERWISE.
- REFER TO PLUMBING FIXTURE SERVICE SCHEDULE ON THIS SHEET FOR WASTE, VENT, AND SUPPLY SIZES AT INDIVIDUAL FIXTURES.
- CONTRACTOR TO PROVIDE QUARTER-TURN, BALL VALVE TYPE SUPPLY STOP SHUT-OFF VALVES AND AIR CHAMBERS ON ALL PLUMBING FIXTURE WATER SUPPLY LINES AND BALL VALVES FOR EACH DEVICE OR EQUIPMENT WATER SUPPLY LINE.
- CONTRACTOR SHALL PROVIDE SHUT-OFF VALVES AT THE BASE OF ALL WATER SUPPLY RISERS.
- CONTRACTOR SHALL COORDINATE ALL WORK REQUIRED WITH ALL OTHER DRAWINGS IN THIS SET.
- CONTRACTOR SHALL MODIFY/PREPARE EXG. CONNECTION POINTS, PIPING, SURROUNDING AREA, ETC., AT ALL LOCATIONS WHERE EXG. EQUIPMENT OR DEVICES ARE INDICATED TO BE REMOVED AND REPLACED WITH NEW EQUIPMENT OR DEVICES AS REQUIRED TO PROVIDE A COMPLETE, CODE COMPLIANT INSTALLATION OF THE NEW EQUIPMENT OR DEVICE.
- COORDINATE DEMOLITION OF EXISTING AND INSTALLATION OF NEW PIPING, FIXTURES, AND EQUIPMENT WITH ALL OTHER WORK.
- CONTRACTOR SHALL PROTECT ALL EXISTING MATERIALS, EQUIPMENT, PIPING, FINISHES, ETC. TO REMAIN FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL RESTORE ANY AND ALL DAMAGE CAUSED BY DEMOLITION TO A CONDITION AND FINISH THAT IS AT LEAST EQUAL TO THAT WHICH EXISTED BEFORE DEMOLITION BEGAN.



Hurst-Rosche, Inc.
 PROFESSIONAL DESIGN NUMBER: 184-002028
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 EAST ST. LOUIS, IL
 MARION, IL
 ARNOLD, MO
 NASHVILLE, TN
 SPRINGFIELD, IL

SIGNATURE
 xx-xx-2025
 DATE
 11-30-2026
 LICENSE EXPIRES

**RAD RENOVATION SILVER CREEK MANOR
 AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON
 ST. CLAIR COUNTY HOUSING AUTHORITY
 ST. CLAIR COUNTY, ILLINOIS**

MK.	DATE	DESCRIPTION

DATE: 04-14-2025
 PROJECT NO: 280-0385
 DESIGN: JLJ DRAWN: JSM CHECK: BGE

IL30-14 LEBANON &
 IL30-24 O'FALLON
 ELECTRICAL & PLUMBING
 NOTES & SCHEDULES

EP-001