

KITCHEN COUNTERTOP REPLACEMENTS: GRANITE CITY COMMONS GRANITE CITY HOUSING AUTHORITY 2517 Nameoki Road Granite City, Il 62040

ARCHITECT / ENGINEER :



Hurst-Rosche, Inc.
PROFESSIONAL DESIGN NUMBER: 184-000298
NO. 5 BANK SQUARE
EAST ST. LOUIS, IL
PH: 618.398.0890
www.hurst-rosche.com
HILLSBORO, IL
MARION, IL
SPRINGFIELD, IL
ARNOLD, MO
NASHVILLE, TN

CODE REFERENCE:

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2015 ILLINOIS PLUMBING CODE
- 2018 ILLINOIS ACCESSIBILITY CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE

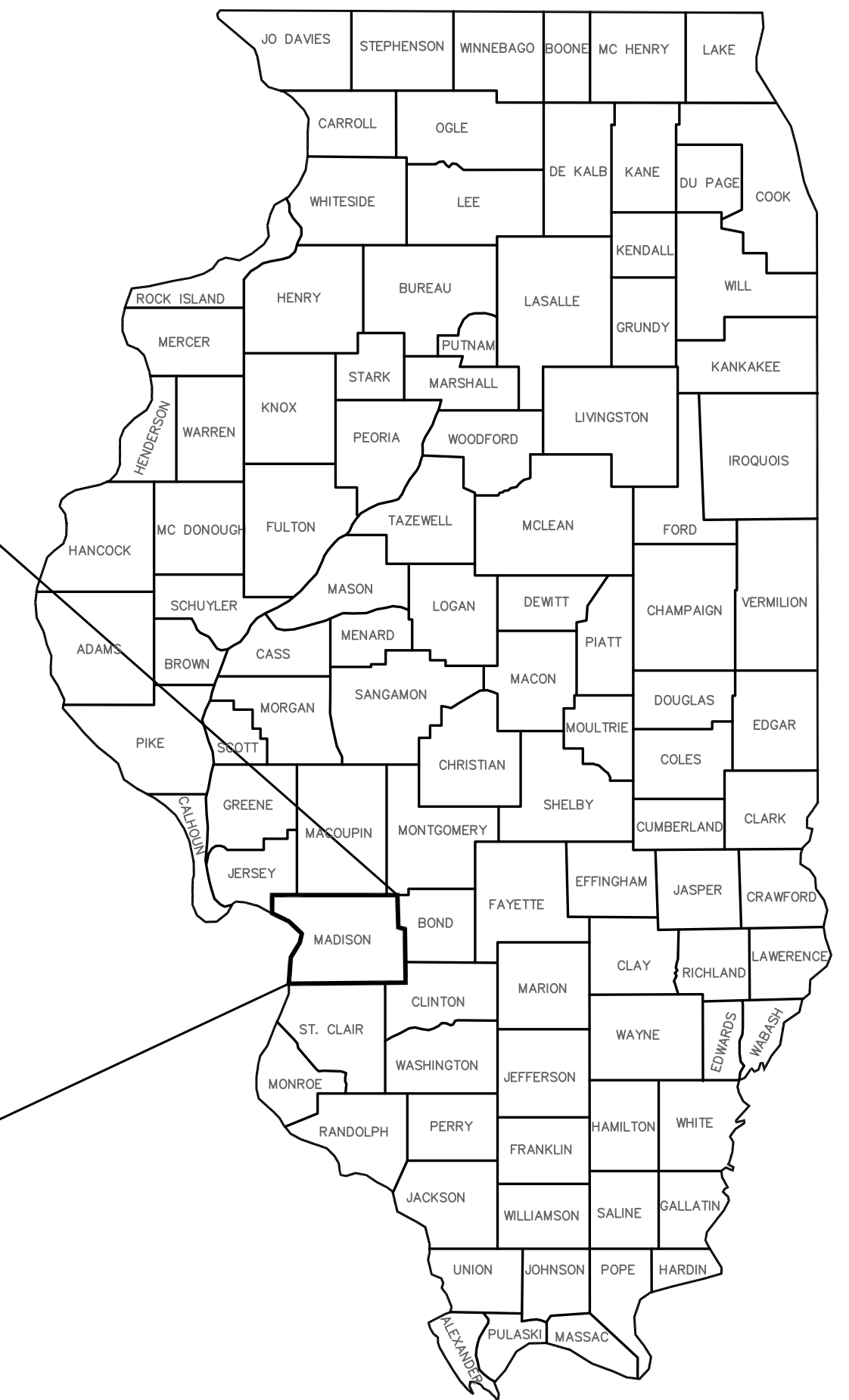
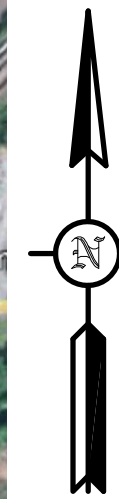
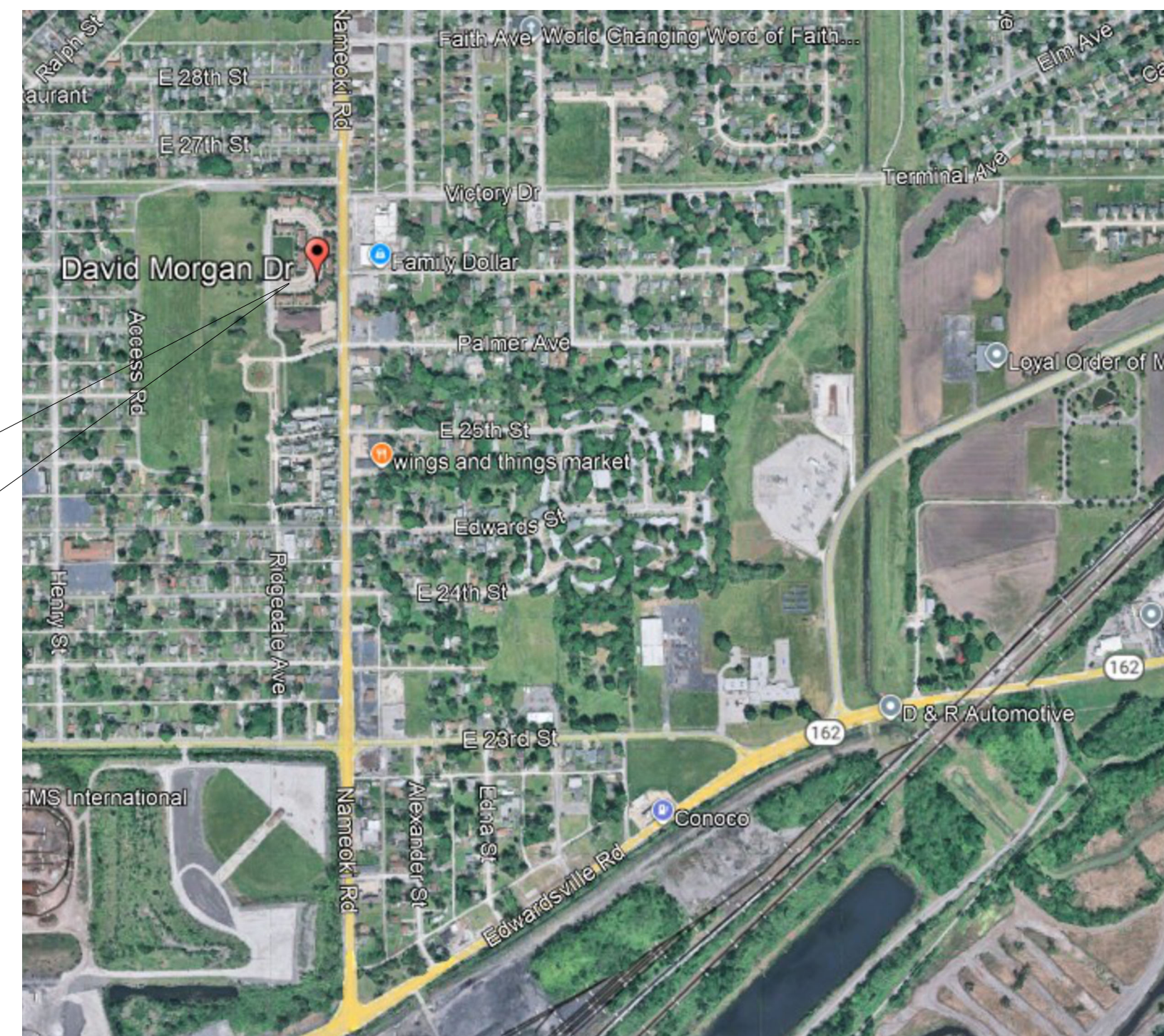
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GRANITE CITY COMMONS

AREA LOCATION MAP



**Granite City
Housing Authority**
Granite City, Illinois

2517 Nameoki Rd, Granite City, IL 62040
Phone: 618-876-0975
Fax: 618-876-8992
E-mail: info@granitecityha.org

ISSUED FOR BID

DATE: 01/05/2026

ABBREVIATIONS

ABV	ABOVE	EF	EACH FACE	JT	JOINT	RAD	RADIUS
AFF	ABOVE FINISH FLOOR	ELEC	ELECTRIC (AL)	JF	JOINT FILLER	RL	RAIL (ING)
ACC	ACCESS	EP	ELECTRICAL PANELBOARD	J	JOIST	RE	REFERENCE
AP	ACCESS PANEL	EL	ELEVATION			RFL	REFLECT (ED), (IVE), (OR)
AC	ACOUSTICAL	ELEV	ELEVATOR			REINF	REINFORCE (D), (ING)
ACT	ACOUSTICAL CEILING TILE	ENC	ENCLOSE (URE)	KPL	KICKPLATE	REM	REMOVE
ADH	ADHEASIVE	EQ	EQUAL			RES	RESILIENT
ADJ	ADJACENT	EQP	EQUIPMENT	LBL	LABEL	RET	RETURN
ADJT	ADJUSTABLE	EST	ESTIMATE	LAD	LADDER	RA	RETURN AIR
ALT	ALTERNATE, ALTERNATIVE	EXH	EXHAUST	LAM	LAMINATE (D)	RVS	REVERSE (SIDE)
AL	ALUMINUM	EXG	EXISTING	LAV	LAVATORY	REV	REVISION (S), REVISED
ANC	ANCHOR, ANCHORAGE	EJ	EXPANSION JOINT	LH	LEFT HAND	RH	RIGHT HAND
AB	ANCHOR BOLT	EXP	EXPOSED	L	LENGTH	RFG	ROOFING
ARCH	ARCHITECT (URAL)	EXT	EXTERIOR	LT	LIGHT	RM	ROOM
AD	AREA DRAIN	EWC	ELECTRIC WATER COOLER	LW	LIGHTWEIGHT	RO	ROUGH OPENING
ASPH	ASPHALT			LF	LINEAL FEET	RB	RUBBER BASE
AUTO	AUTOMATIC			LTL	LINTEL		
		FOF	FACE OF CONCRETE	LL	LIVE LOAD		
		FOM	FACE OF FINISH	LVR	LOUVER		
BRG	BEARING	FOS	FACE OF MASONRY	LPT	LOW POINT	SCH	SCHEDULE
BPL	BEARING PLATE	FAS	FACE OF STUDS			S	SEALER
BM	BENCH MARK, BEAM	FBD	FASTEN, FASTENER			SEC	SECTION
BEL	BELOW	FGL	FIBERBOARD	MI	MALLEABLE IRON	SHTG	SHEATHING
BTWN	BETWEEN	FIN	FIBERGLASS	MFR	MANUFACTURE (ER)	SHT	SHEET
BVL	BEVELED	FFE	FINISH (ED)	MAS	MASONRY	SH	SHELF, SHELVING
BLK	BLOCK	FFL	FINISHED FLOOR ELEVATION	MO	MASONRY OPENING	SIM	SIMILAR
BLKG	BLOCKING	FA	FINISHED FLOOR LINE	MAX	MAXIMUM	SL	SLEEVE
BD	BOARD	FE	FIRE ALARM	MECH	MECHANICAL	SC	SOLID CORE
BS	BOTH SIDES	FEC	FIRE EXTINGUISHER	MED	MEDIUM	SPL	SPECIAL
BW	BOTH WAYS	FPL	FIRE EXTINGUISHER CABINET	MBR	MEMBER	SPEC	SPECIFICATIONS
BOT	BOTTOM	FP	FIREPLACE	MMB	MEMBRANE	SQ	SQUARE
BLDG	BUILDING	FRT	FIREPROOF	MTL	METAL	SF	SQUARE FOOT
BL	BRICK LEDGE	FLG	FIRE-RETARDANT	MWK	MILLWORK	SY	SQUARE YARD
		FLX	FLASHING	MIN	MINIMUM	S&V	STAINED AND VARNISHED
CAB	CABINET	FLR	FLEXIBLE	MISC	MISCELLANEOUS	SST	STAINLESS STEEL
CPT	CARPET (ED)	FD	FLOOR (ING)	MLD	MOLDING, MOULDING	STD	STANDARD
CSMT	CASEMENT	FPL	FLOOR DRAIN	MT	MOUNT (ED), (ING)	STA	STATION
CK	CAULKING	FLUR	FLOOR PLATE	MOV	MOVABLE	STL	STEEL
CLG	CEILING	FJT	FLUORESCENT	MULL	MULLION	STO	STORAGE
CEM	CEMENT	FTG	FLUSH JOINT			STRUCT	STRUCTURAL
CER	CERAMIC	FND	FOOTING	NAT	NATURAL	SYM	SYMMETRY (ICAL)
CT	CERAMIC TILE	FR	FOUNDATION	NRC	NOISE REDUCTION COEFFICIENT	SYS	SYSTEM
CHAM	CHAMFER	FRA	FRAME (D), (ING)	NOM	NOMINAL		
CIR	CIRCLE	FS	FRESH AIR	NIC	NOT IN CONTRACT	TEL	TELEPHONE
CLR	CLEAR (ANCE)	FBO	FULL SIZE	NTS	NOT TO SCALE	TV	TELEVISION
CLS	CLOSURE	FUR	FURNISHED BY OTHERS			THK	THICK (NESS)
COL	COLUMN	FUT	FURRED (ING)			THR	THRESHOLD
COMB	COMBINATION		FUTURE	OC	ON CENTER	TOL	TOLERANCE
COMP	COMPRESS (ED), (ION), (IBLE)	GA	GAGE, GUAGE	OPG	OPENING	T&G	TONGUE AND GROOVE
CONC	CONCRETE	GALV	GALVANIZED	OPP	OPPOSITE	T.STL	TOP OF STEEL
CMU	CONCRETE MASONRY UNIT	GC	GENERAL CONTRACT (OR)	OD	OUTSIDE DIAMETER	TSL	TOP OF SLAB
CONST	CONSTRUCTION	GLF	GLASS FIBER	OA	OVERALL	TFTG	TOP OF FOOTING
CONT	CONTINUOUS	GB	GRAB BAR	OH	OVERHEAD	TYP	TYPICAL
CONTR	CONTRACT (OR)	GR	GRADE, GRADING				
CLL	CONTRACT LIMIT LINE	GVL	GRAVEL	P	PAINT (ED)		
CJ	CONTROL JOINT	GRT	GROUT	PNL	PANEL	UC	UNDERCUT
CPR	COPPER	GYP BD	GYP SUM BOARD	PAR	PARALLEL	UNF	UNFINISHED
CG	CORNER GUARD			PK	PARKING		
CTR	CENTER			PTN	PARTITION		
CFL	COUNTERFLASHING	HDW	HARDWARE	PERF	PERFORATE (D)	VJ	V-JOINT (ED)
CS	COUNTERSINK	HWD	HARDWOOD	PERI	PERIMETER	VR	VAPOR RETARDER
CF	CUBIC FOOT	HJT	HEAD JOINT	PLAS	PLASTER	VAR	VARNISH
CY	CUBIC YARD	HDR	HEADER	PLAM	PLASTIC LAMINATE	VNR	VEENER
		HTG	HEATING	PL	PLATE	VERT	VERTICAL
		HD	HEAVY DUTY	PWD	PLYWOOD	VWC	VINYL WALL COVERING
DPR	DAMPER	HT	HEIGHT	PT	POINT		
DL	DEAD LOAD	HC	HOLLOW CORE	PT	POINT		
DEM	DEMOLISH, DEMOLITION	HM	HOLLOW METAL	PORC.	PORCELAIN		
DMT	DEMOUNTABLE	HORIZ	HORIZONTAL	PVC	POLYVINYL CHLORIDE		
DEP	DEPRESSED	HB	HOSE BIB	PCF	POUNDS PER CUBIC FOOT	WSCT	WAINSCOT
DTL	DETAIL	HWH	HOT WATER HEATER	PLF	POUNDS PER LINEAL FOOT	WC	WATER CLOSET
DIAG	DIAGONAL	HSS	STRUCTURAL TUBE	PSF	POUNDS PER SQUARE FOOT	WP	WATERPROOFING
DIAM	DIAMETER			PSI	POUNDS PER SQUARE INCH	WR	WATER REPELLENT
DIM	DIMENSION	IN	INCH	PFB	PREFABRICATE (D)	WS	WATERSTOP
DIV	DIVISION	INCL	INCLUDING	PFN	PREFINISHED	WWF	WELDED WIRE FABRIC
DR	DOOR	ID	INSIDE DIAMETER	PRF	PREFORMED	W	WIDTH, WIDE
DBL	DOUBLE	IF	INSIDE FACE	PL	PROPERTY LINE	w/	WITH
DH	DOUBLE HUNG	INS	INSULATE (D), (ION)			WDW	WINDOW
DWL	DOWEL(S)	INT	INTERIOR			W/O	WITHOUT
DS	DOWNSPOUT					WD	WOOD
DT	DRAIN TILE					WB	WOOD BASE
DWR	DRAWER					WPT	WORKING POINT
DWG	DRAWING						

GENERAL NOTES: (APPLY TO ALL WORK)

1. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE PHA. LOCATE CONTRACTOR PARKING AND CONSTRUCTION STAGING AS INDICATED BY THE PHA AND NOTIFY RESIDENTS A MINIMUM OF 48 HOURS PRIOR TO CONDUCTING WORK AT OCCUPIED BUILDINGS.
2. PERMITS AND LICENSES OF A TEMPORARY NATURE NECESSARY FOR THE PROCESSION OF WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION LAYOUT. NEW WORK SHALL MATCH EXISTING ADJOINING CONSTRUCTION FOR A SMOOTH TRANSITION UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO EXISTING CONSTRUCTION AND SITE IMPROVEMENTS INCLUDING BUILDINGS, UTILITIES, LAWNS, LANDSCAPING, PARKING AREAS, CONCRETE SIDEWALKS, STOOPS, AND PATIOS TO REMAIN AND SHALL REPAIR DAMAGE CAUSED BY CONSTRUCTION / DEMOLITION AT NO ADDITIONAL COST TO THE OWNER. PROTECT EXISTING EXISTING CONSTRUCTION AS NECESSARY TO PREVENT DAMAGE.
5. DIMENSIONS AND QUANTITIES NOTED ON DRAWINGS ARE APPROXIMATE AND ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND NEW DIMENSIONS WITH FIELD CONDITIONS PRIOR TO BIDDING, FABRICATION, AND CONSTRUCTION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY THE ARCHITECT/ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE WORK.
6. MAINTAINING DRAINAGE - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN DRAINAGE FLOWS AT ALL TIMES DURING THE PERFORMANCE OF THE WORK. DAMAGE RESULTING FROM IMPROPER MAINTENANCE OF DRAINAGE SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PHA. COST OF MAINTAINING FLOWS IS INCIDENTAL TO THE CONTRACT.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND SECURITY OF THE BUILDINGS, MATERIALS, EQUIPMENT AND SUPPLIES RELATED TO THIS CONTRACT. CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN TEMPORARY BARRIERS, ENCLOSURES, AND FENCING AS NECESSARY TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION AREAS.
8. CONTRACTOR SHALL REMOVE EXISTING CONSTRUCTION TO THE EXTENT SHOWN ON PLANS AND LEGALLY DISPOSE OF OFF-SITE. CONTRACTOR SHALL ALSO REMOVE AND DISPOSE OF ALL SURPLUS, UNSTABLE AND/OR UNSUITABLE MATERIALS RESULTING FROM CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL TAKE NOTE OF EXISTING SITE CONDITIONS AND BE PREPARED TO MOVE OR DISPOSE OF OBJECTS OR MATERIALS WITHIN THE LIMITS OF THE PROJECT AS NECESSARY TO COMPLETE THE WORK. SUCH WORK SHALL NOT BE CAUSE FOR ADDITIONAL COMPENSATION FOR A CHANGE IN THE SCOPE.



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SIGNATURE
xx-xx-2026
DATE 11-30-2026
LICENSE EXPIRES

KITCHEN COUNTERTOP REPLACEMENTS:
GRANITE CITY COMMONS
GRANITE CITY HOUSING AUTHORITY
2517 NAMEOKI ROAD
GRANITE CITY, IL 62040

MK.	DATE	DESCRIPTION

DATE: 01-05-2026
PROJECT NO: 280-1145
DESIGN: JLW DRAWN: AJD/JSM CHECK: JLW

GENERAL NOTES & ABBREVIATIONS

G-102



Hurst-Rosche, Inc.
PROFESSIONAL DESIGN NUMBER: 184-002028

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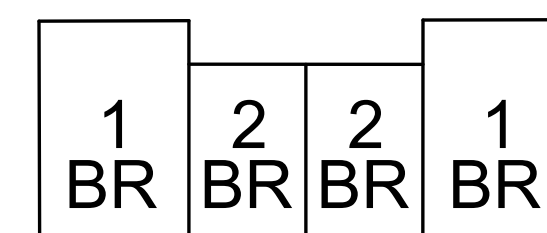
GENERAL NOTES:

- UPON COMPLETION OF CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CLEAN ALL WORK AREAS SO THAT THEY ARE FREE OF ALL CONSTRUCTION DIRT AND DEBRIS.
- PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
- EXISTING SITE WILL BE OCCUPIED** THROUGHOUT CONSTRUCTION. PROVIDE ACCESS TO ALL USERS AND EMERGENCY VEHICLES/PERSONNEL AT ALL TIMES. CONTRACTOR SHALL COORDINATE WITH OWNER FOR SCHEDULED OCCUPANCY.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE PHA. LOCATE CONTRACTOR PARKING AND CONSTRUCTION STAGING AS INDICATED BY THE PHA. AND NOTIFY RESIDENTS A MINIMUM OF 48 HOURS PRIOR TO CONDUCTING WORK AT OCCUPIED BUILDINGS.
- PERMITS AND LICENSES OF A TEMPORARY NATURE NECESSARY FOR THE PROCESSION OF WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION LAYOUT AND STAKING. NEW WORK SHALL MATCH EXISTING ADJOINING CONSTRUCTION FOR A SMOOTH TRANSITION UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO EXISTING CONSTRUCTION AND SITE IMPROVEMENTS INCLUDING BUILDINGS, UTILITIES, LAWNS, LANDSCAPING, PARKING AREAS, CONCRETE SIDEWALKS, STOOPS, AND PATIOS TO REMAIN AND SHALL REPAIR DAMAGE CAUSED BY CONSTRUCTION/ DEMOLITION AT NO ADDITIONAL COST TO THE OWNER. PROTECT EXISTING CONSTRUCTION AS NECESSARY TO PREVENT DAMAGE.
- DIMENSIONS AND QUANTITIES NOTED ON DRAWINGS ARE APPROXIMATE AND ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND NEW DIMENSIONS WITH FIELD CONDITIONS PRIOR TO BIDDING, FABRICATION, AND CONSTRUCTION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY THE ARCHITECT/ ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE WORK.
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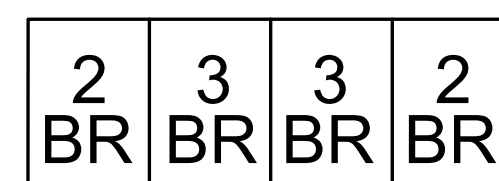
SIGNATURE _____
xx-xx-2026
DATE 11-30-2026
LICENSE EXPIRES _____

GRANITE CITY COMMONS BLDG. TYPES

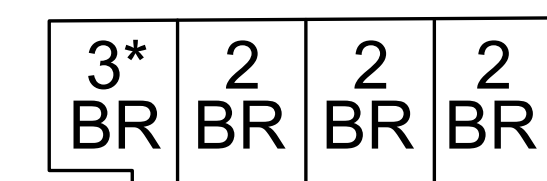
GRANITE CITY COMMONS UNIT BEDROOM COUNTS



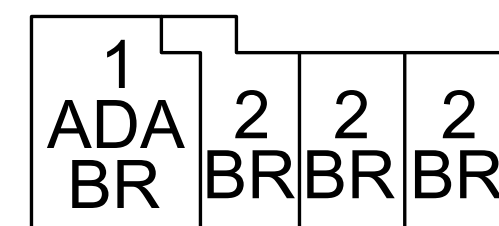
BLDG. TYPE A



BLDG. TYPE B

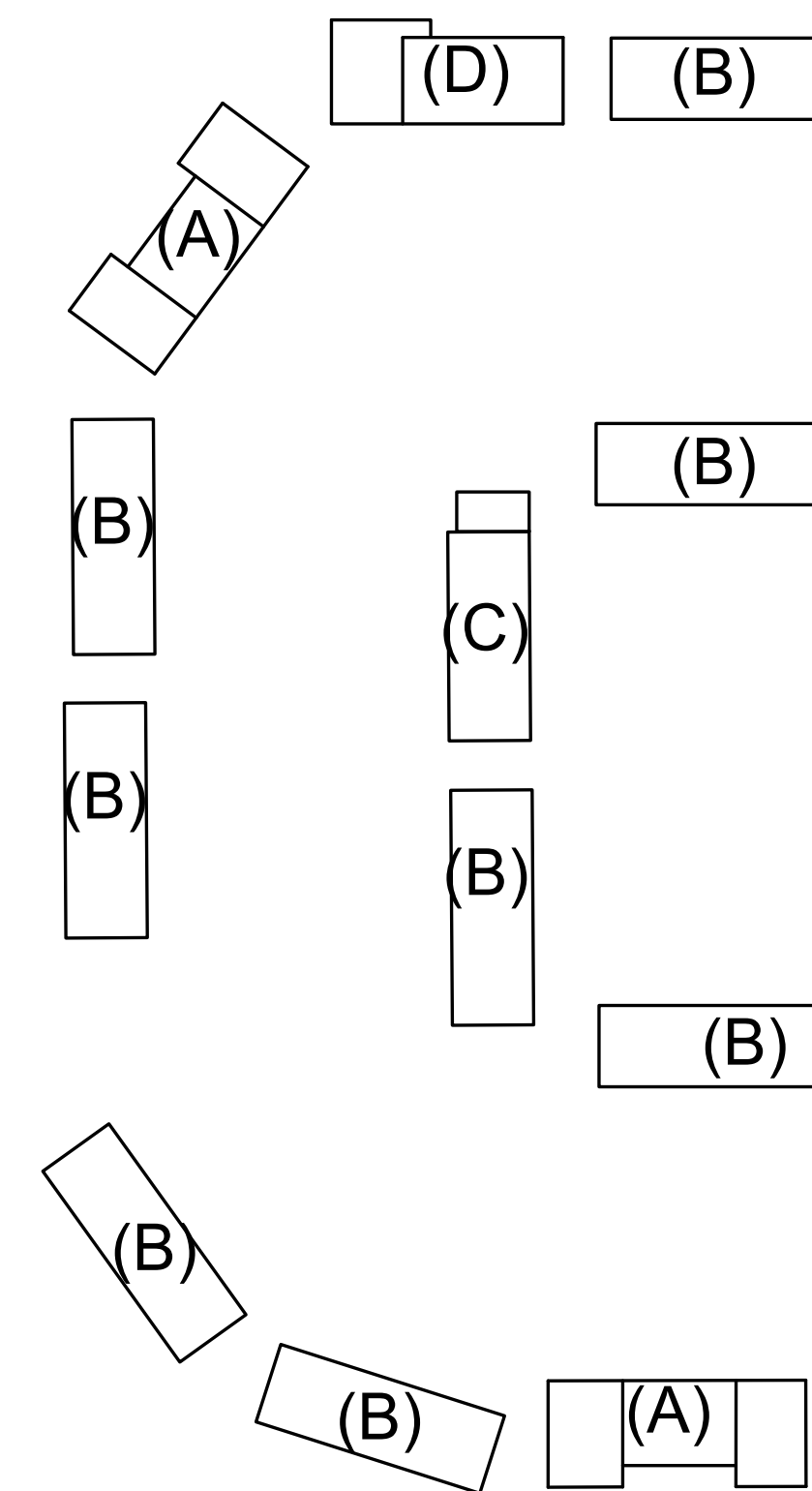


BLDG. TYPE C



BLDG. TYPE D

* TWO BEDROOM KITCHEN LAYOUT WITH EXTRA ADA BEDROOM



(A) = 4 UNITS: 2 bldgs. (B) = 4 UNITS: 8 bldgs.
(C) = 4 UNITS: 1 bldg. (D) = 4 UNITS: 1 bldg.

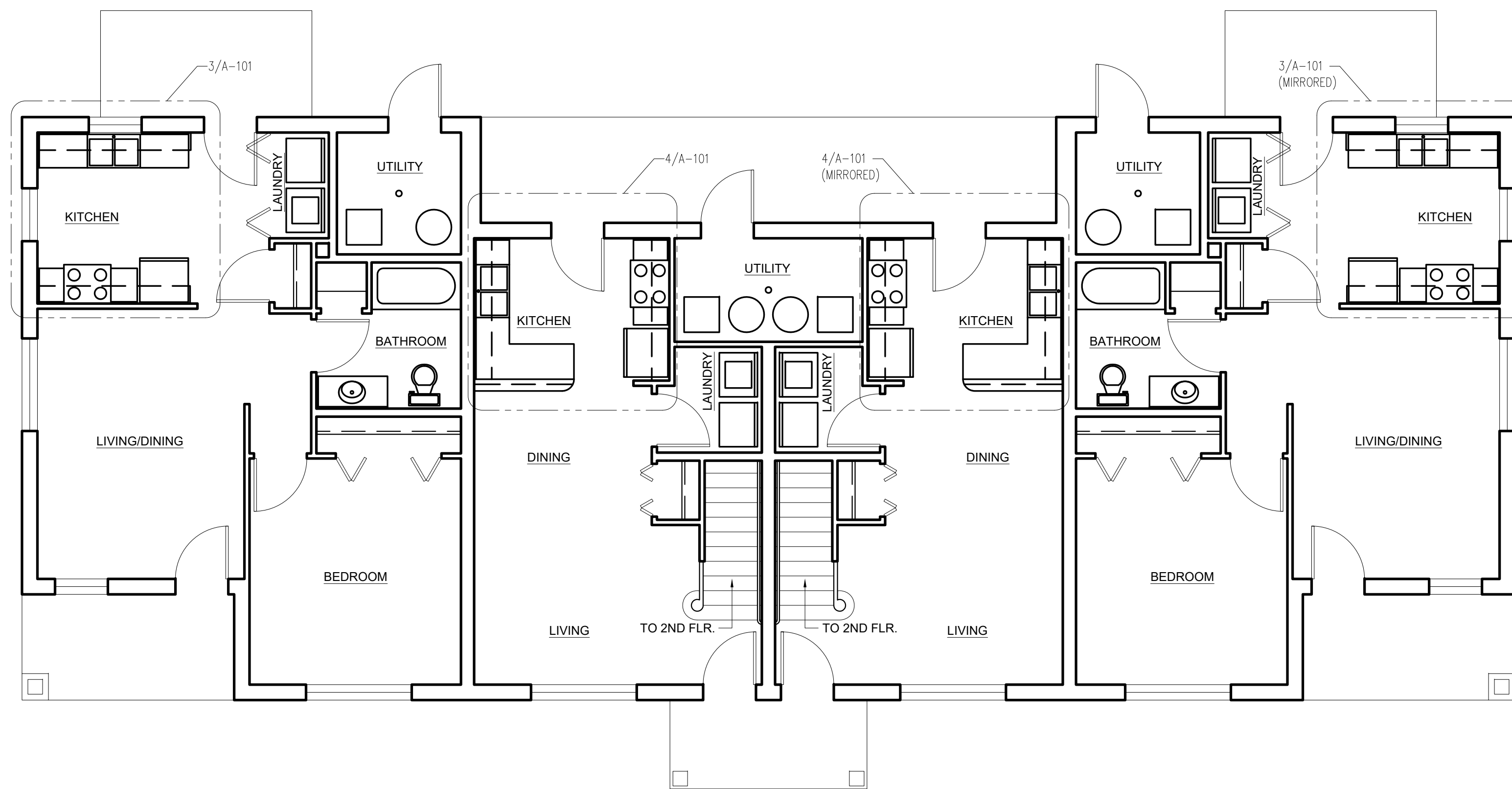
KITCHEN COUNTERTOP REPLACEMENTS:
GRANITE CITY COMMONS
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2517 NAMEOKI ROAD
GRANITE CITY, IL 62040

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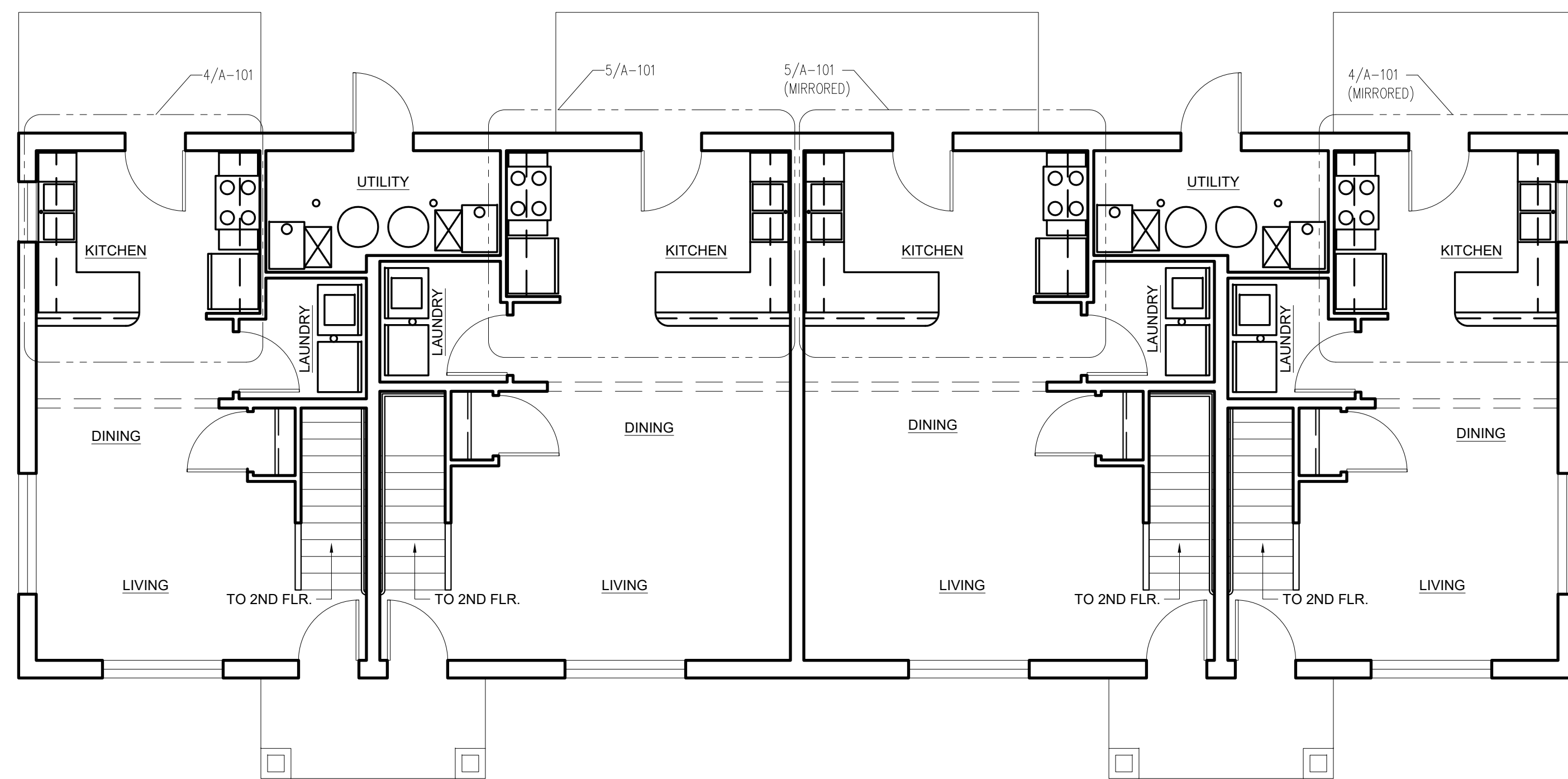
DATE: 01-05-2026
PROJECT NO: 280-1145
DESIGN: JLV | DRAWN: AJD/JSM | CHECK: JLV

SITE PLAN
BUILDING TYPES
UNIT COUNTS
GENERAL NOTES

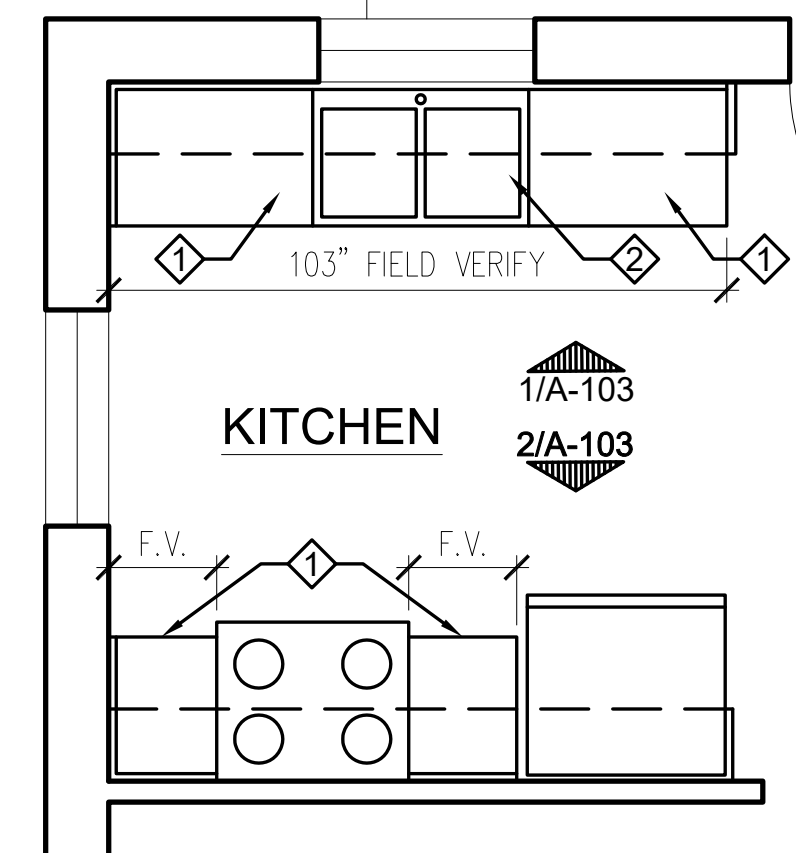
A-100
SHEET-COUNT



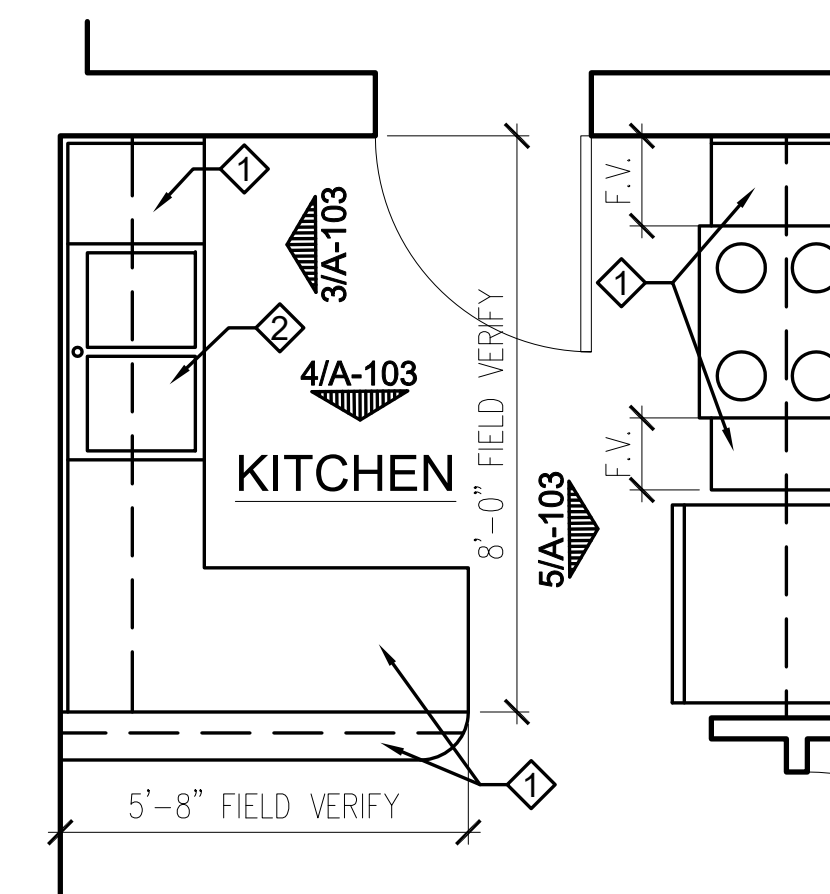
1 BUILDING TYPE A
A-101/SCALE:3/16" = 1'-0" (TYP. OF 2 BLDGS)



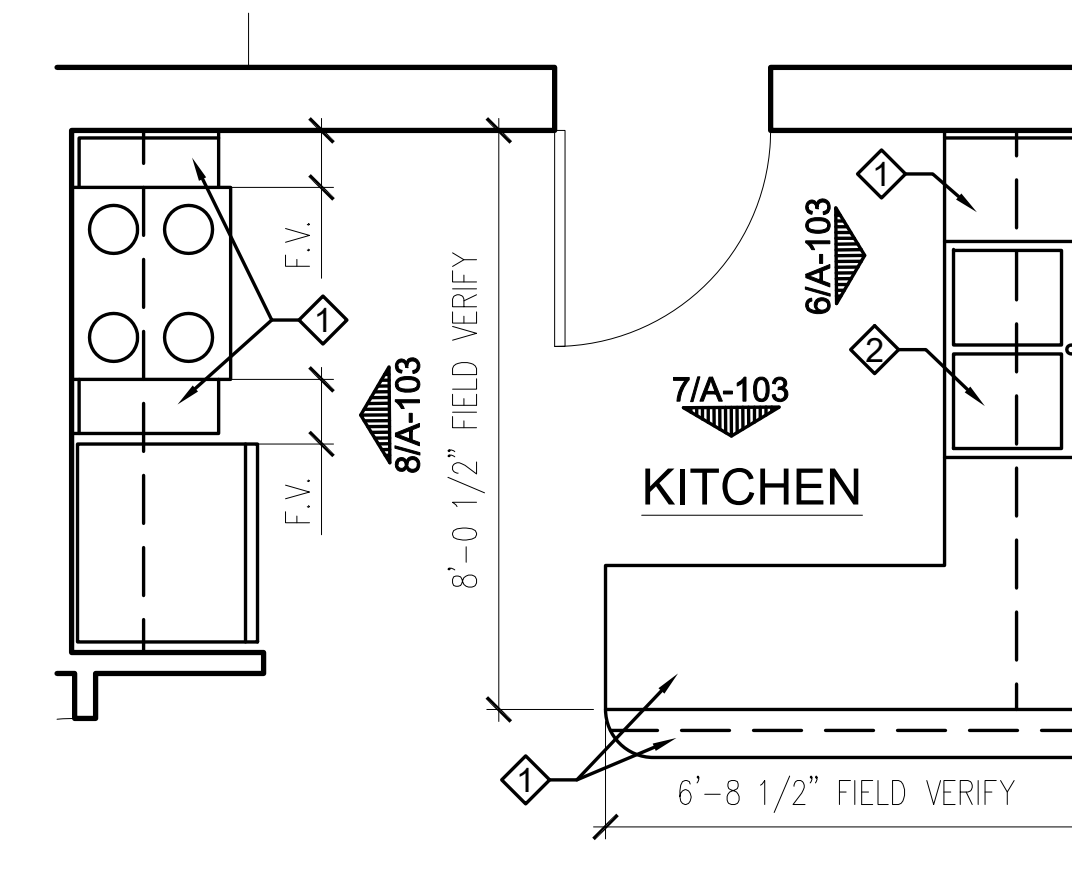
2 BUILDING TYPE B
A-101/SCALE:3/16" = 1'-0" (TYP. OF 8 BLDGS)



3 TYP. 1 BED UNIT KITCHEN PLAN
A-101/SCALE:3/8" = 1'-0"



4 TYP. 2 BED UNIT KITCHEN PLAN
A-101/SCALE:3/8" = 1'-0"



5 TYP. 3 BED UNIT KITCHEN PLAN
A-101/SCALE:3/8" = 1'-0"

GENERAL NOTES:

1. REMOVE EXG. KITCHEN COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES AND ALL RELATED ACCESSORIES - INSTALL NEW AS SHOWN ON SHEETS.
2. FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
3. SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
5. WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO A COMPLETE INSTALLATION.

KITCHEN KEY NOTES:

1. REMOVE COUNTERTOPS AND REPLACE WITH PLAM COUNTERTOP AS SPECIFIED.
2. REMOVE SINK / FAUCET AND REPLACE WITH SPECIFIED SINK AND FAUCET.

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BUILDING TYPES "A" AND "B" FLOOR PLANS

A-101
SHEET-COUNT

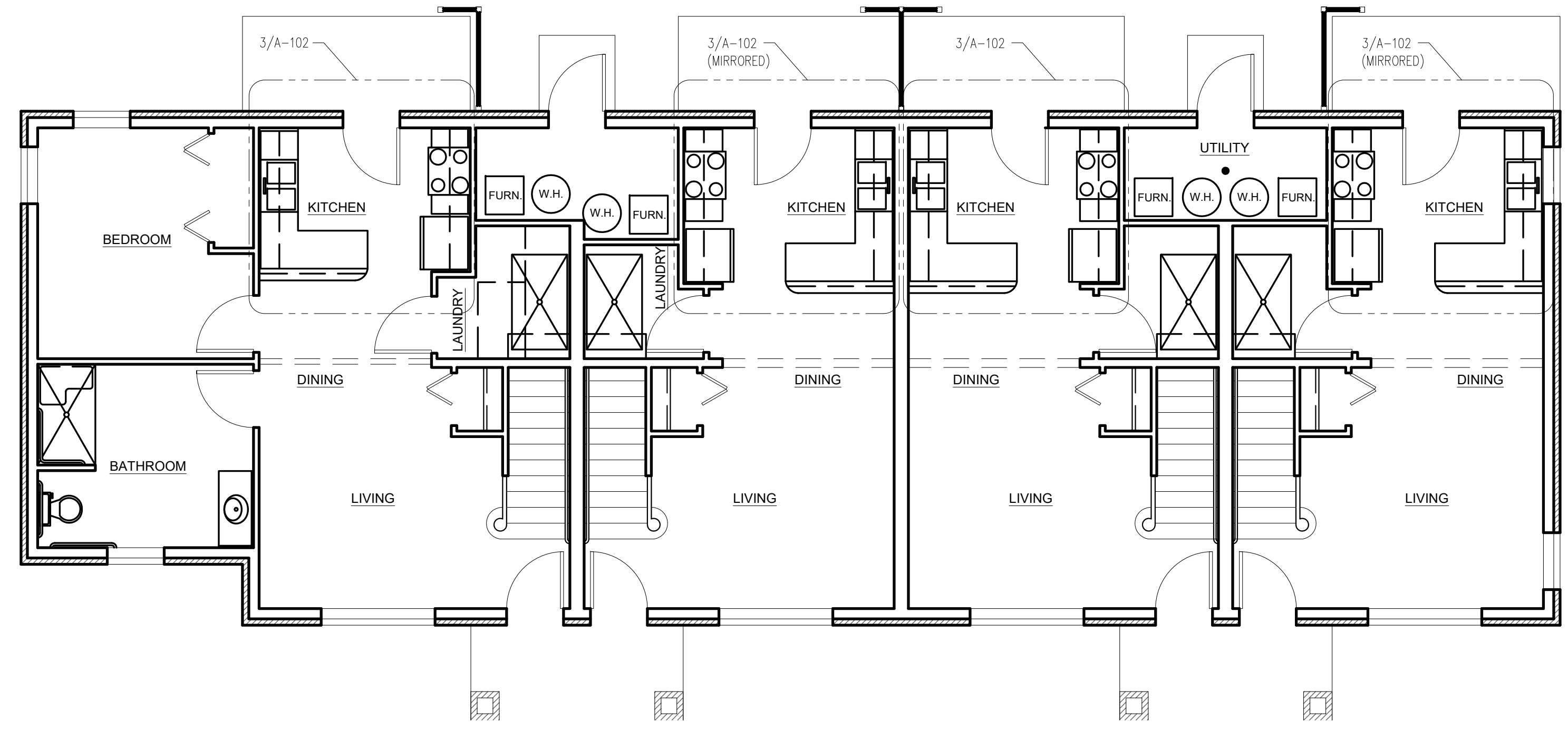
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GENERAL NOTES:

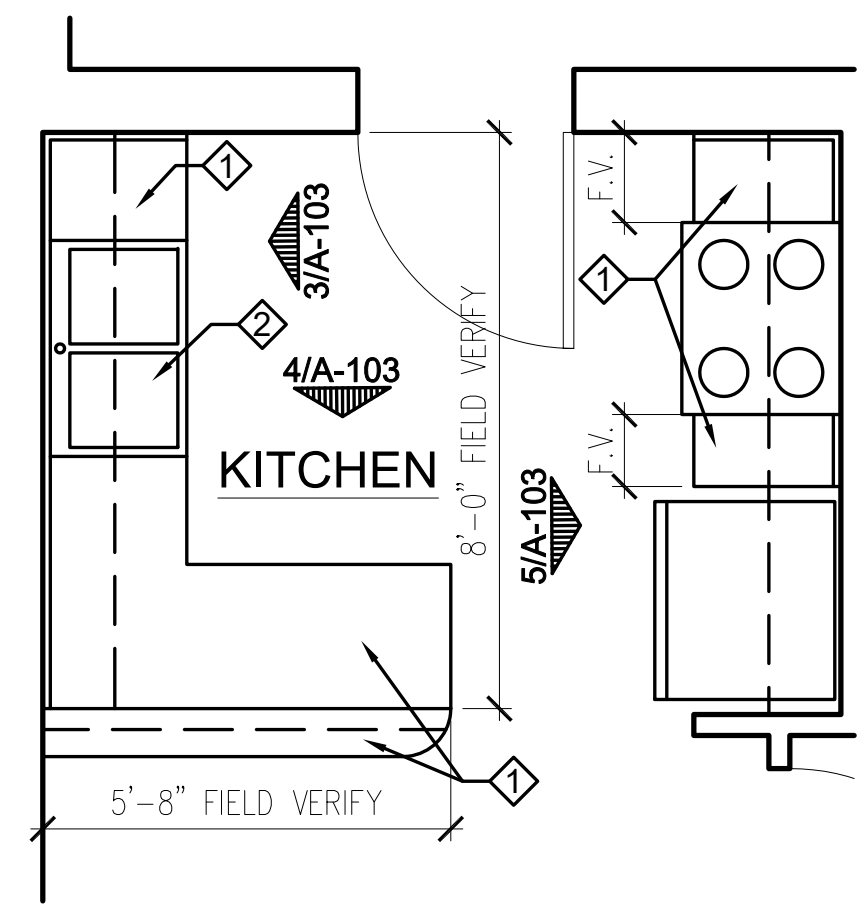
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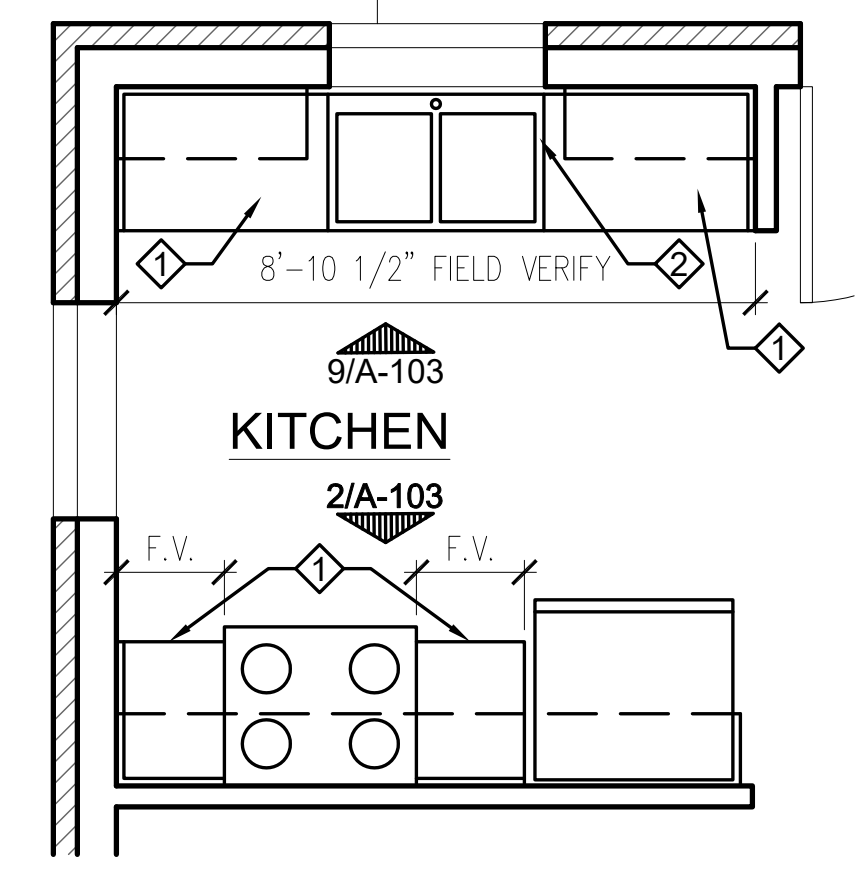
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2. REMOVE SINK / FAUCET AND REPLACE WITH SPECIFIED SINK AND FAUCET.



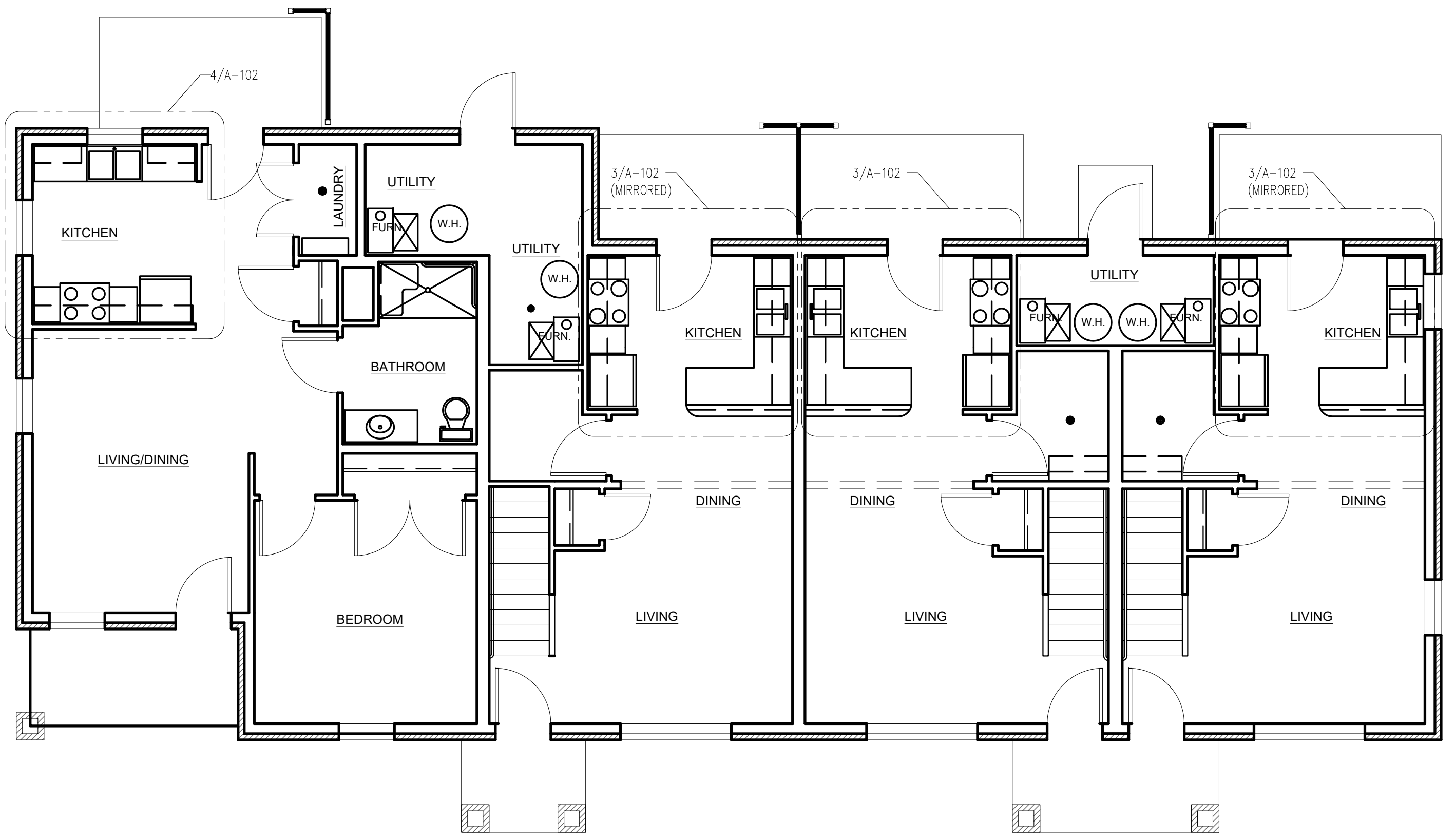
1 BUILDING TYPE C
 A-102/SCALE:3/16" = 1'-0" (TYP. OF 1 BLDG)



3 TYP. 2 BED UNIT KITCHEN PLAN
 A-102/SCALE:3/8" = 1'-0"



4 TYP. 1 BED UNIT KITCHEN PLAN (ADA)
 A-102/SCALE:3/8" = 1'-0"



2 BUILDING TYPE D
 A-102/SCALE:3/16" = 1'-0" (TYP. OF 1 BLDG)

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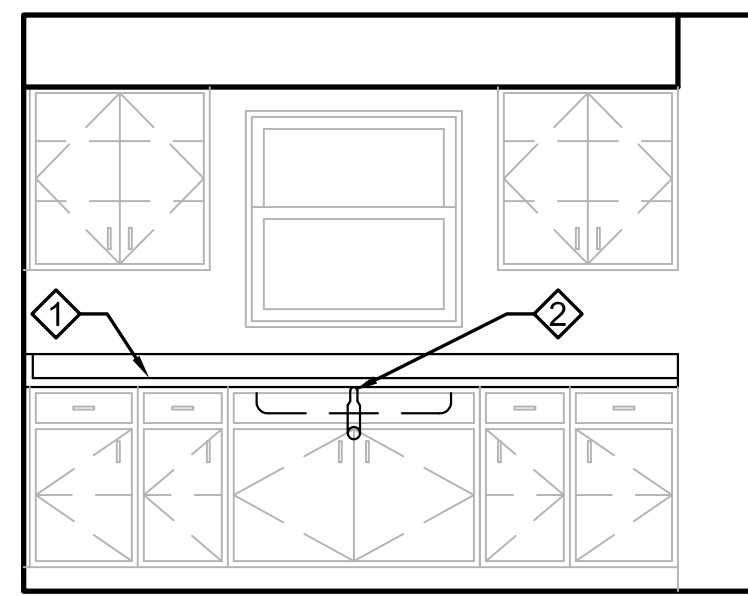
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 DESIGN: JLV DRAWN: CHECK: AJD/JSM JLJ

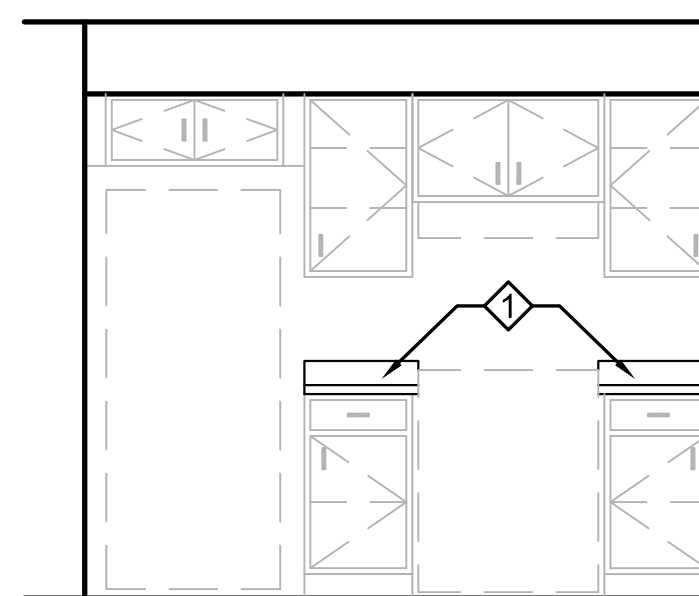
BUILDING TYPES "C" AND "D" FLOOR PLANS

A-102
 SHEET-COUNT

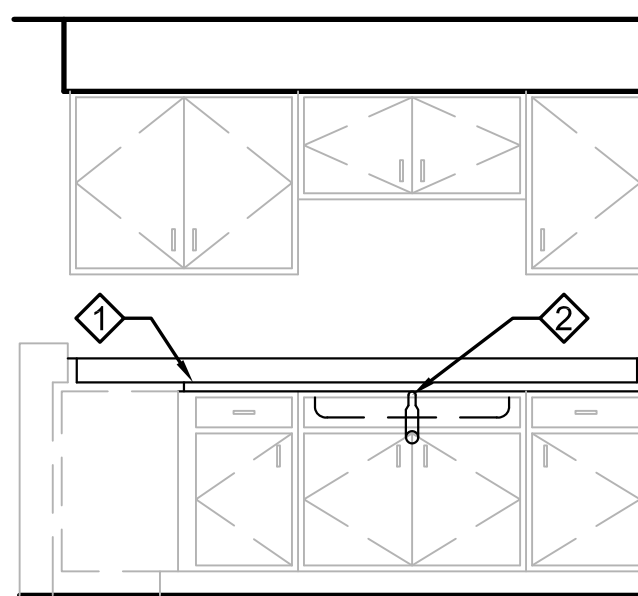
NOTE:
 DIMENSIONS AND QUANTITIES NOTED ON DRAWINGS ARE APPROXIMATE AND ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND NEW DIMENSIONS WITH FIELD CONDITIONS PRIOR TO BIDDING, FABRICATION, AND CONSTRUCTION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY THE ARCHITECT/ ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE WORK.



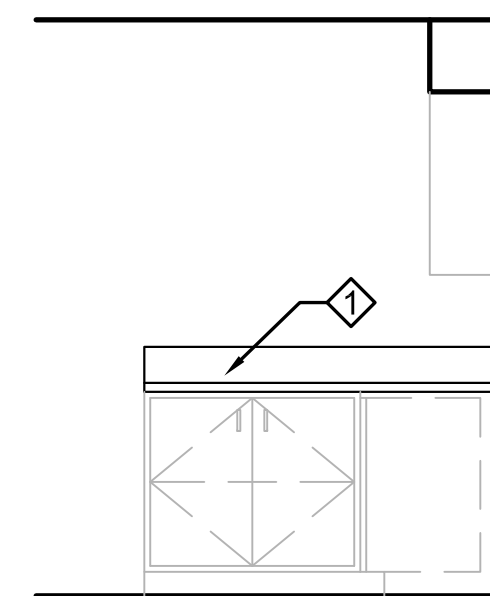
1 KITCHEN ELEVATION
A-103/SCALE: 3/8" = 1'-0"



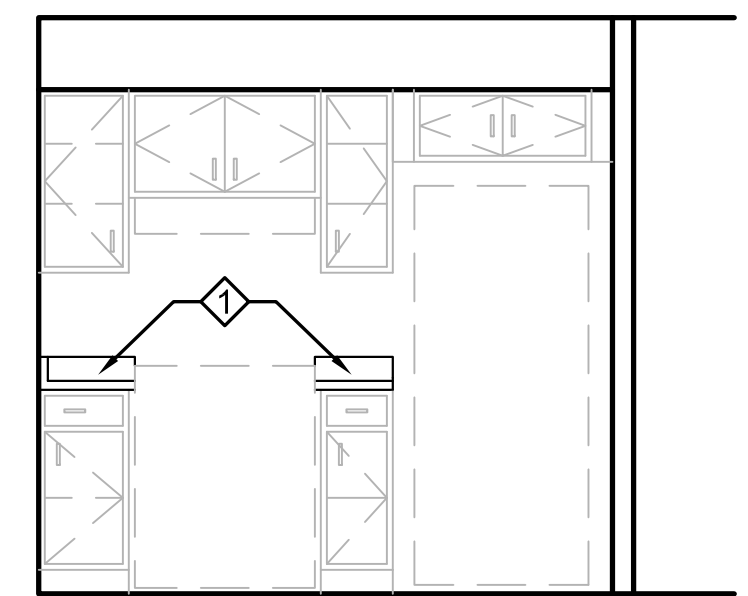
2 KITCHEN ELEVATION
A-103/SCALE: 3/8" = 1'-0"



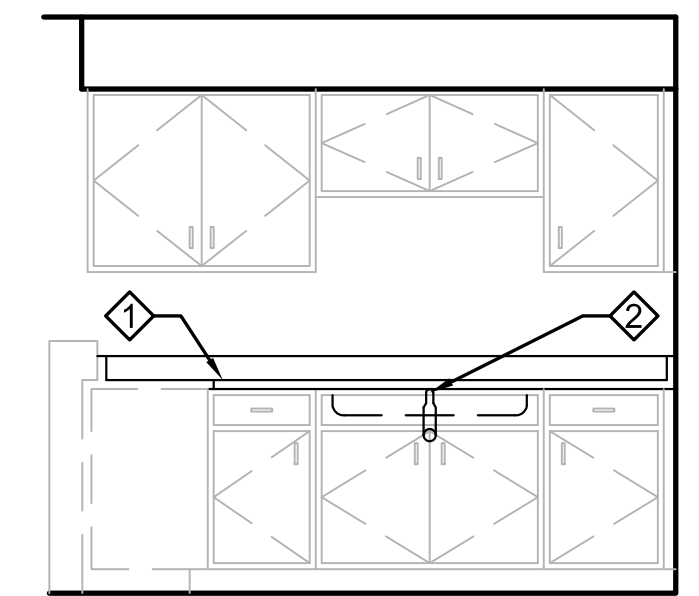
3 KITCHEN ELEVATION
A-103/SCALE: 3/8" = 1'-0"



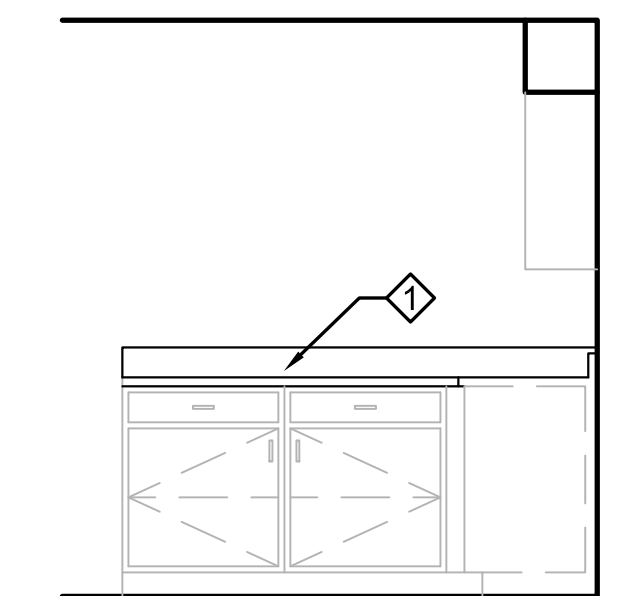
4 KITCHEN ELEVATION
A-103/SCALE: 3/8" = 1'-0"



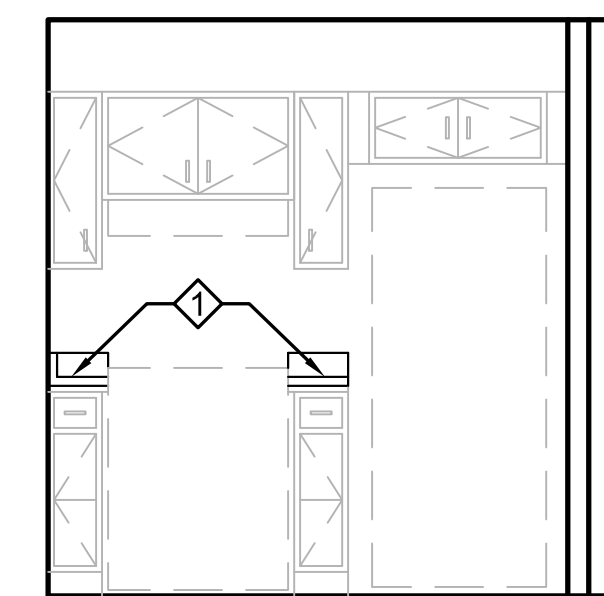
5 KITCHEN ELEVATION
A-103/SCALE: 3/8" = 1'-0"



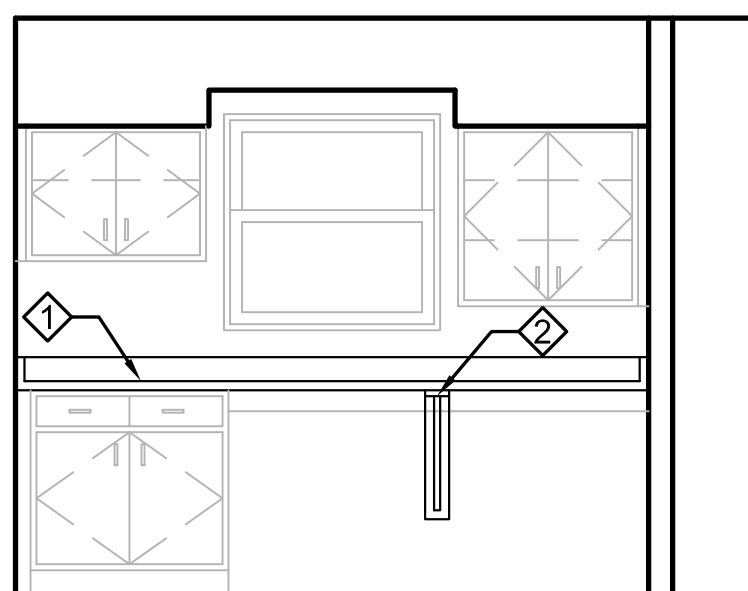
6 KITCHEN ELEVATION
A-103/SCALE: 3/8" = 1'-0"



7 KITCHEN ELEVATION
A-103/SCALE: 3/8" = 1'-0"

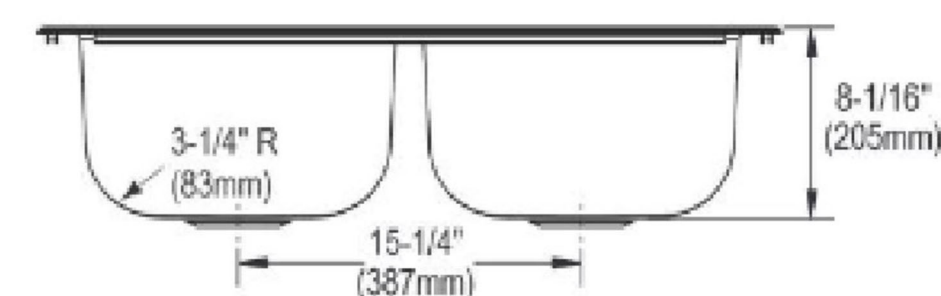
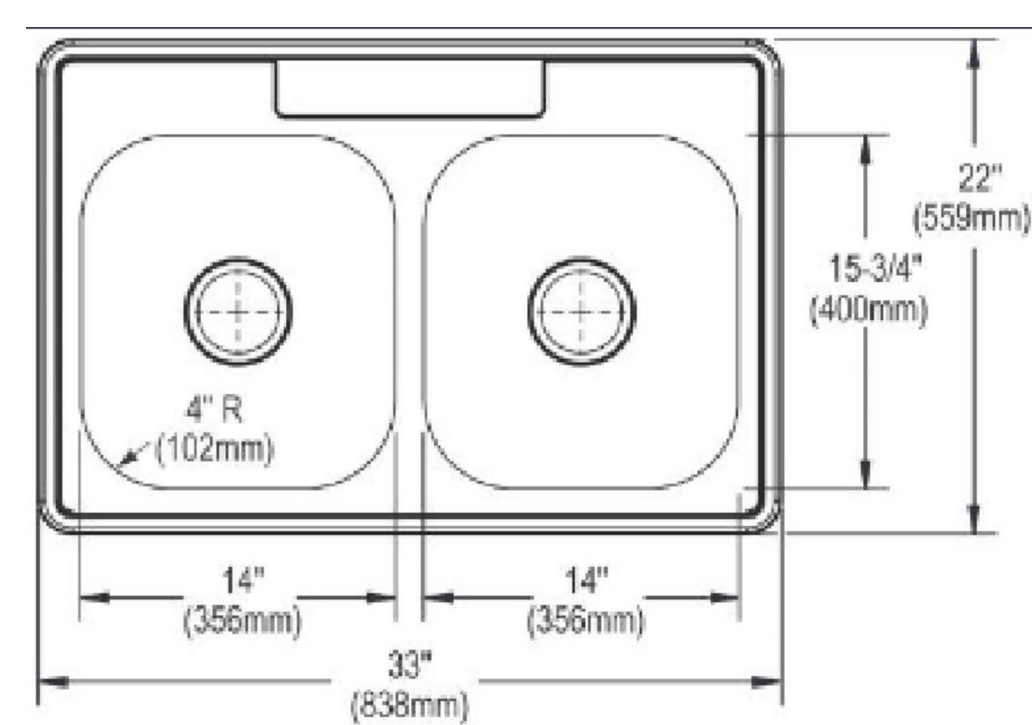


8 KITCHEN ELEVATION
A-103/SCALE: 3/8" = 1'-0"



9 KITCHEN ELEVATION
A-103/SCALE: 3/8" = 1'-0"

SINK SCHEDULE									
LOCATION	MANUFACTURER	MODEL	TYPE	FAUCET	SIZE (IN)	WASTE (IN)	C.W. (IN)	H.W. (IN)	VENT (IN)
KITCHEN	ELKAY	DSE23322	DOUBLE COUNTERTOP	4175.300	33 X 22	1.5	1/4	1/4	1.5



KITCHEN SINK DETAIL
NOT TO SCALE

GENERAL NOTES:

- REMOVE EXG. KITCHEN COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES AND ALL RELATED ACCESSORIES – INSTALL NEW AS SHOWN ON SHEETS.
- FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
- WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO A COMPLETE INSTALLATION.

KITCHEN KEY NOTES:

- REMOVE COUNTERTOPS AND REPLACE WITH PLAM COUNTERTOP AS SPECIFIED.
- REMOVE SINK / FAUCET AND REPLACE WITH SPECIFIED SINK AND FAUCET.

PLUMBING GENERAL NOTES:

- ALL FIXTURES AND PIPING SHALL BE SIZED, VENTED AND TRAPPED IN ACCORD WITH THE STATE OF ILLINOIS PLUMBING CODE, CURRENT EDITION AND THE INTERNATIONAL PLUMBING CODE, CURRENT EDITION.
- CONTRACTOR TO PROVIDE QUARTER-TURN, BALL VALVE TYPE SUPPLY STOP SHUT-OFF VALVES AND AIR CHAMBERS ON ALL PLUMBING FIXTURE WATER SUPPLY LINES AND BALL VALVES FOR EACH UNIT ISOLATION VALVE INSTANCE.
- CONTRACTOR SHALL PROVIDE SHUT-OFF VALVES AT THE BASE OF ALL WATER SUPPLY RISERS.
- ALL SHUT-OFF VALVES 2" AND SMALLER SHALL BE BALL VALVES.
- CONTRACTOR SHALL COORDINATE ALL WORK REQUIRED WITH ALL OTHER DRAWINGS IN THIS SET.
- ALL EXISTING FINISHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL IN MATERIAL AND APPEARANCE TO THAT WHICH EXISTED BEFORE CONSTRUCTION BEGAN.
- ALL REFUSE AND DEBRIS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF, OFFSITE BY THE CONTRACTOR. GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS AND BE RESPONSIBLE FOR ALL INCURRED FEES..
- PROVIDE ALL FITTINGS, ADAPTORS, AND MATERIALS AS REQUIRED TO MODIFY EXISTING SYSTEMS AND INSTALL ALL INDICATED NEW FIXTURES TO PROVIDE A FULLY FUNCTIONAL/CODE COMPLIANT INSTALLATION AFTER ALL WORK IS COMPLETE.
- LOCATIONS OF EXISTING PIPING SYSTEMS INDICATED ON PLANS WAS TAKEN FROM AVAILABLE ORIGINAL CONSTRUCTION DOCUMENTS AND SHOULD BE USED FOR GENERAL LOCATION INFORMATION ONLY. EXACT LOCATIONS MAY VARY AND SHALL BE FIELD VERIFIED.
- COORDINATE PLUMBING WORK WITH ALL OTHER WORK.

NOTE:
DIMENSIONS AND QUANTITIES NOTED ON DRAWINGS ARE APPROXIMATE AND ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND NEW DIMENSIONS WITH FIELD CONDITIONS PRIOR TO BIDDING, FABRICATION, AND CONSTRUCTION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY THE ARCHITECT/ ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE WORK.

Hurst-Rosche, Inc.
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PH: 618.398.0890
www.hurst-rosche.com
HILLSBORO, IL
SPRINGFIELD, IL
MARION, IL
NASHVILLE, TN
ARNOLD, MO

SIGNATURE: xx-xx-2026
DATE: 11-30-2026
LICENSE EXPIRES:

KITCHEN COUNTERTOP REPLACEMENTS:
GRANITE CITY COMMONS
GRANITE CITY HOUSING AUTHORITY
2517 NAMEOKI ROAD
GRANITE CITY, IL 62040

MK.	DATE	DESCRIPTION

DATE: 01-05-2026
PROJECT NO: 280-1145
DESIGN: JLV | DRAWN: AJD/JSM | CHECK: JLV

KITCHEN ELEVATIONS

A-103
SHEET-COUNT