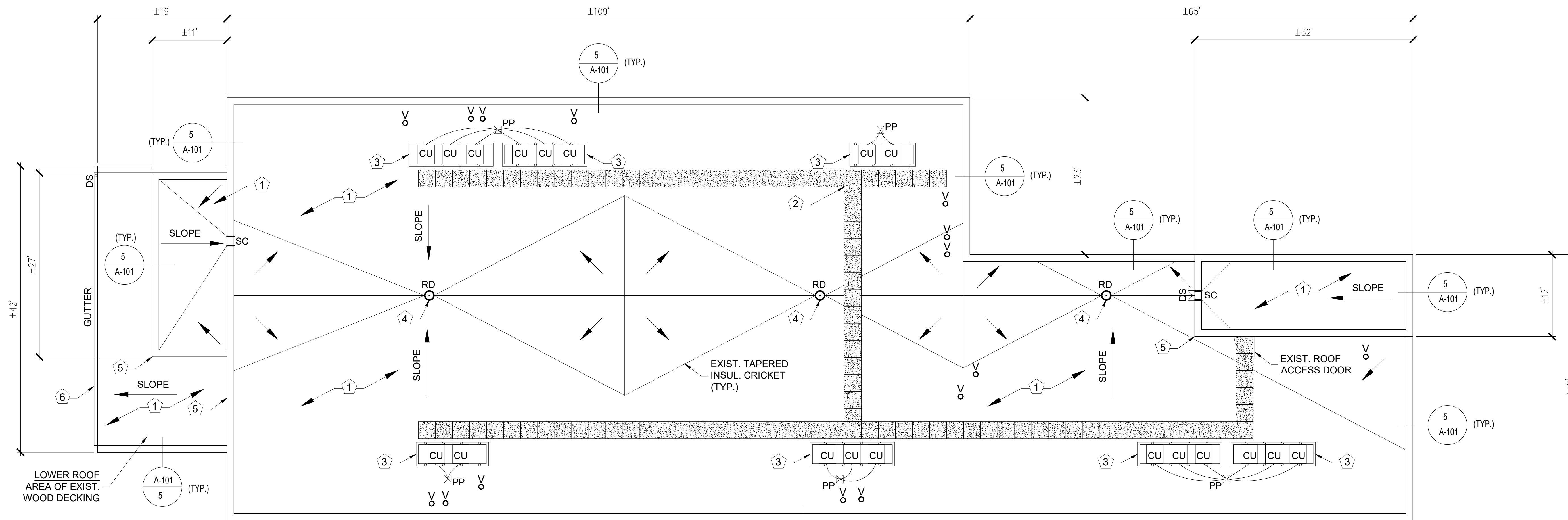


SIGNATURE _____
DATE _____
LICENSE EXPIRES _____



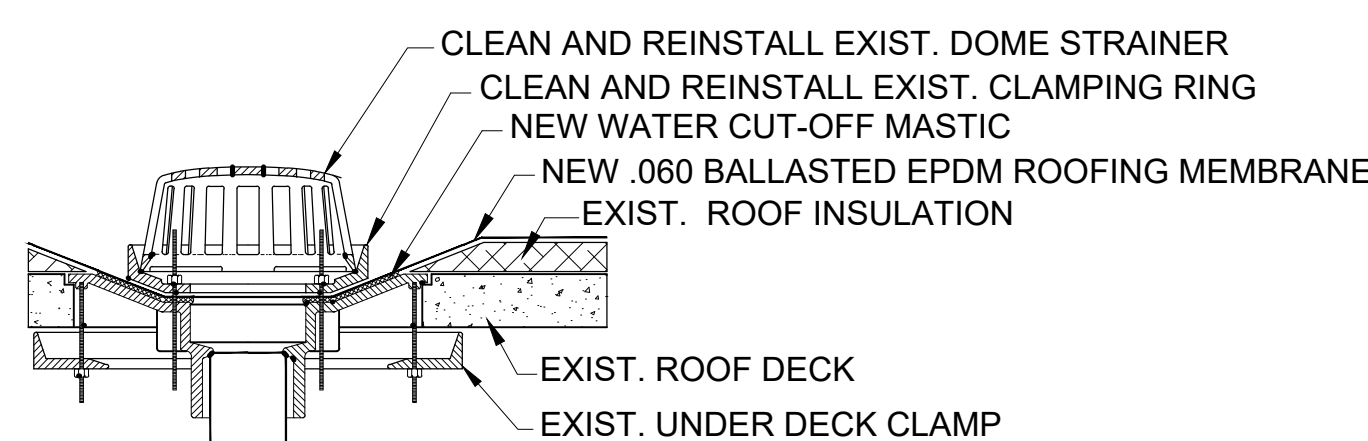
1 ROOF PLAN – FAMILY LIVING CENTER
SCALE: 1/8" = 1'-0"

A-101 (TYP.)

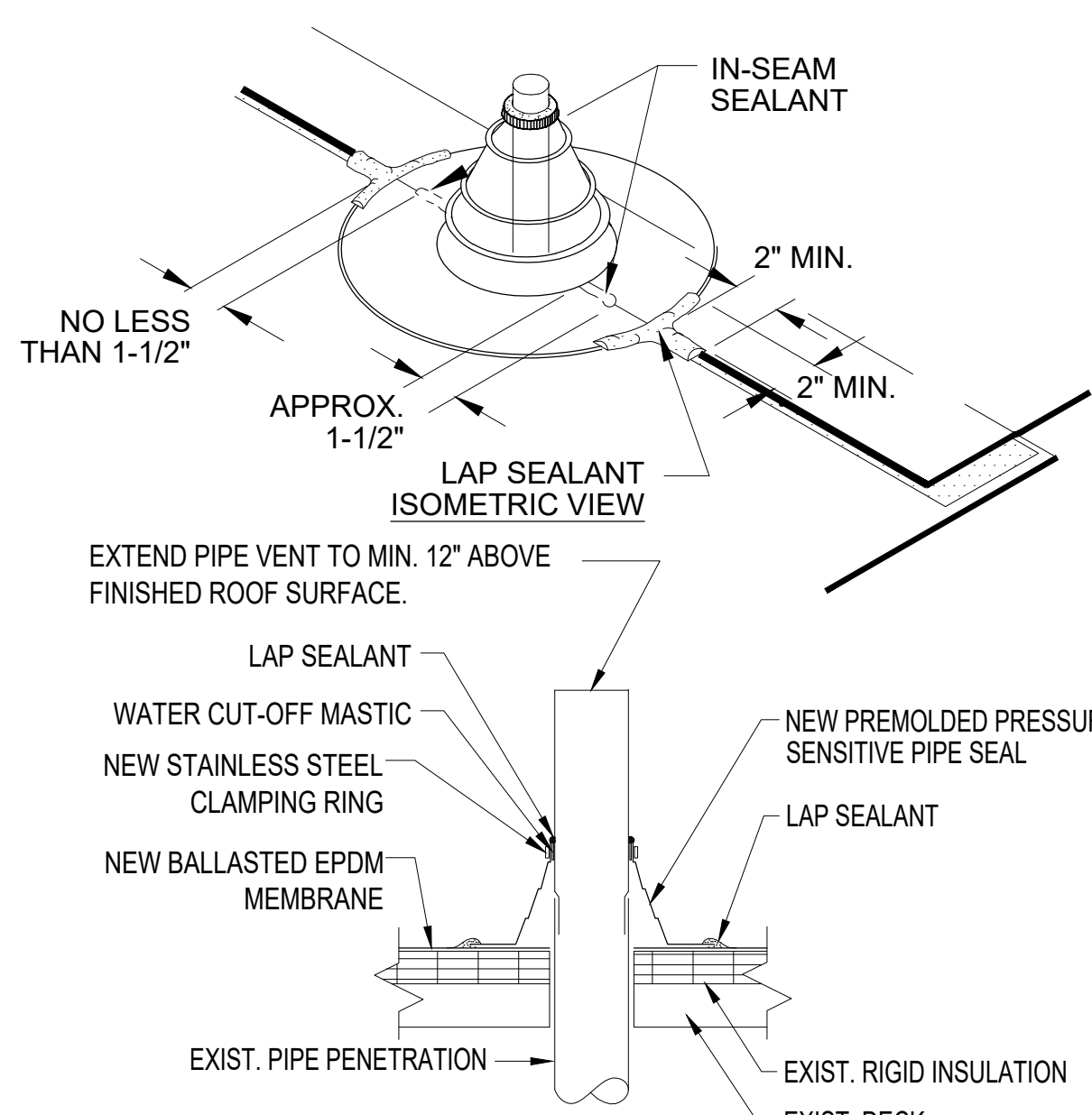
SYMBOLS LEGEND	
CU	EXISTING CONDENSING UNIT ON STEEL SUPPORT RAILS.
V	EXISTING PIPE VENT OR OTHER ROUND PENETRATION. SEE TYP. PENETRATION DETAILS.
DS	EXIST. PVC DOWNSPOUT TO REMAIN.
RD	EXISTING ROOF DRAIN TO BE CLEANED AND REUSED UNLESS OTHERWISE NOTED. SEE TYP. DETAIL 2/A-101.
PP	NEW POURABLE SEALER POCKET (PITCH POCKET) IN PLACE OF EXISTING.
SC	EXISTING THROUGH WALL PARAPET SCUPPER SLEEVE AND ACCESSORIES PER MANUFACTURER'S INSTRUCTIONS.

- GENERAL NOTES:**
- REMOVE ALL EXISTING ROCK BALLAST AND EPDM ROOF MEMBRANE INCLUDING ALL MEMBRANE FLASHINGS AND ACCESSORIES AND LEGALLY DISPOSE OF OFFSITE. THE EXISTING RIGID INSULATION SUBSTRATE SHALL REMAIN IN PLACE UNLESS OTHERWISE INDICATED.
 - REMOVE & REPLACE ALL EXISTING SHEET METAL FLASHINGS & ACCESSORIES INCLUDING ALL ROOF EDGE FLASHING, FASCIAS, COUNTER FLASHINGS, & ACCESSORIES AT ROOF SECTIONS TO RECEIVE WORK UNLESS OTHERWISE INDICATED. REPLACE W/ NEW PREFINISHED SHEET METAL FLASHING & ACCESSORIES AS INDICATED. MATCH SIZE & PROFILE OF EXG. UNLESS OTHERWISE INDICATED OR REQUIRED BY CONDITIONS ENCOUNTERED.
 - THE CONDITION OF THE EXG. ROOF ASSEMBLY INCLUDING ROOF COVERING, SUBSTRATE & DECKING IS UNKNOWN & MAY BE DAMAGED OR DETERIORATED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF THE BUILDING, OCCUPANTS, & WORKERS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS & COMPLY WITH ALL APPLICABLE REGULATIONS INCLUDING OSHA SAFETY REGULATIONS FOR ROOFING OPERATIONS.
 - ALL EXG. FINISHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL IN MATERIAL & APPEARANCE TO THAT WHICH EXISTED BEFORE CONSTRUCTION.
 - ALL REFUSE & DEBRIS SHALL BE REMOVED FROM THE SITE & LEGALLY DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL FIELD VERIFY ALL EXG. DIMENSIONS & CONDITIONS & MAKE MINOR ADJUSTMENTS AS NECESSARY. DIMENSIONS ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. PRIOR TO SUBMITTING BID PROPOSAL, THE CONTRACTOR SHALL THOROUGHLY SURVEY THE FACILITY TO VERIFY EXG. CONDITIONS & DIMENSIONS, AND DETERMINE ALL MATERIALS, LABOR, & INCIDENTALS NEEDED FOR COMPLETION OF THE WORK & TO PROVIDE THE SPECIFIED ROOF SYSTEM WARRANTY IN ACCORDANCE W/ THE CONTRACT DOCUMENTS.
 - DIRECTIONAL ARROWS AS INDICATED ON THE ROOF PLAN ARE INTENDED AS A GENERIC REPRESENTATION OF THE GENERAL DIRECTION OF ROOF SURFACE SLOPE.
 - THE CONTRACTOR SHALL REMOVE & REINSTALL ALL EXISTING ROOF OR WALL MOUNTED EQUIPMENT & ACCESSORIES TO REMAIN AS NECESSARY TO COMPLETE THE WORK. FIELD VERIFY SIZE, QUANTITY, & LOCATION OF ALL ROOF PENETRATIONS, EQUIPMENT & ACCESSORIES. MODIFY/EXTEND EXG. CONTROL WIRING, CONDUIT, DUCTWORK OR PIPING AS NECESSARY TO ACCOMMODATE NEW WORK. PROVIDE NEW WOOD NAILERS AS NECESSARY TO RAISE EXISTING EQUIPMENT SUPPORT CURBS AND RAILS A MINIMUM OF 8 INCHES ABOVE THE FINISHED ROOF SURFACE. NOTIFY THE OWNER & COORDINATE ANY INTERRUPTION IN EQUIPMENT SERVICE PRIOR TO REMOVAL.
 - PROTECT EXG. UTILITIES DURING CONSTRUCTION. FLASH ALL UTILITY, CONDUIT, & PIPING PENETRATIONS IN ACCORDANCE W/ THE ROOF MANUFACTURER'S PUBLISHED INSTRUCTIONS. FIELD VERIFY SIZE, QUANTITY & LOCATION.
 - ALL PIPE VENTS SHALL EXTEND A MIN. OF 12-INCHES ABOVE THE FINISHED ROOF SURFACE. EXTEND AS NECESSARY & PROVIDE FLASHING PER TYPICAL DETAIL.
 - PROVIDE 1/2"-FT TAPERED RIGID INSULATION AT ALL NEW CRICKET AND SADDLE LOCATIONS. TAPERED INSULATION CRICKETS & SADDLES ARE REQUIRED AT LOCATIONS INDICATED ON THE ROOF PLAN & AS REQUIRED BY FIELD CONDITIONS TO PROVIDE POSITIVE ROOF DRAINAGE.
 - MAINTAINING DRAINAGE – IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN DRAINAGE FLOWS AT ALL TIMES DURING THE WORK. DAMAGE RESULTING FROM IMPROPER MAINTENANCE OF DRAINAGE SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - AFTER ALL WORK IS COMPLETED, THE CONTRACTOR SHALL CLEAN WORK AREAS SO THAT THEY ARE FREE OF ANY CONSTRUCTION MATERIALS, TOOLS, DIRT, & DEBRIS. FINE GRADE, SEED, FERTILIZER, & STRAW ALL DISTURBED LAWN.
 - CONTRACTOR SHALL NOTIFY OWNER AND A/E PRIOR TO USE OF ANY SCAFFOLDING, LIFTS, SWING STAGES, ETC. USE OF SUCH MATERIALS AND EQUIPMENT SHALL MEET ALL FEDERAL, STATE, AND LOCAL SAFETY REGULATIONS AND ORDINANCES.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH OWNER, A/E, & OTHER TRADES THROUGHOUT THE PROJECT.
 - CONTRACTOR SHALL COORDINATE WITH OWNER FOR ALL OWNER RELATED SCHEDULES, PROCEDURES, CLEARANCES, AND REQUIREMENTS TO ACCESS THE OWNER'S FACILITIES. SUCH PROCEDURES ARE INCIDENTAL TO THE CONTRACT AND SHALL NOT RESULT IN ADDITIONAL COST TO THE OWNER.
 - PERFORM WORK IN ACCORDANCE W/ NRCA ROOFING & WATERPROOFING MANUAL, LATEST EDITION.

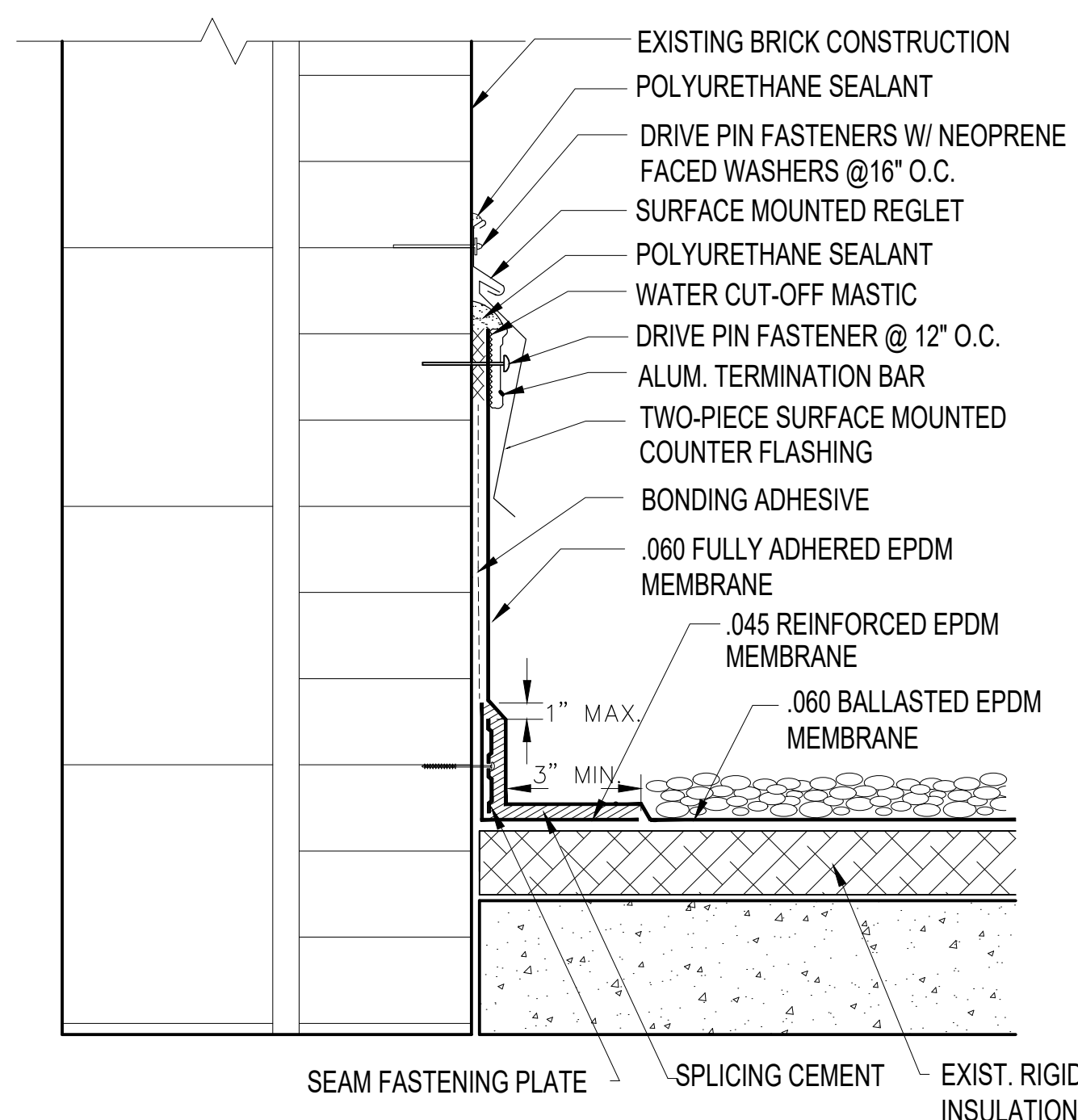
- ROOF PLAN KEY NOTES:**
- INSTALL NEW LOOSE LAID BALLASTED EPDM ROOF SYSTEM OVER EXISTING RIGID INSULATION SUBSTRATE. (RE: SPEC SECTION 07 53 23).
a. BASE BID SHALL INCLUDE 500 SQUARE FEET OF SUBSTRATE INSULATION REPLACEMENT. REMOVE AND REPLACE AREAS OF WET SUBSTRATE INSULATION DISCOVERED DURING CONSTRUCTION WITH NEW LOOSE LAID RIGID INSULATION TO MATCH EXISTING. MATCH EXISTING MATERIAL THICKNESS, AND SLOPE. TYPICAL EXISTING ROOF INSULATION CONSISTS OF 2-INCH MINIMUM THICKNESS OF 1" PER FOOT TAPERED EPS INSULATION AND 1/2" PER FOOT TAPERED EPS AT CRICKETS.
 - EXISTING CONCRETE PAVERS. REMOVE AND REINSTALL AS NECESSARY TO COMPLETE THE WORK.
 - CONDENSING UNITS ON STEEL EQUIPMENT RAILS. FLASH STEEL PIPE SUPPORTS PER TYP. DETAIL (TYP OF 4 PER RAIL).
 - EXISTING ROOF DRAIN TO BE CLEANED AND REUSED. SEE TYP. DETAIL 2/A-101.
 - WALL FLASHING PER TYP. DETAIL 4/A-101.
 - EXIST. METAL GUTTER TO REMAIN. REMOVE AND REINSTALL EXISTING DRAIN BAR AND PROVIDE NEW SHEET METAL DRIP EDGE TO MATCH EXISTING.



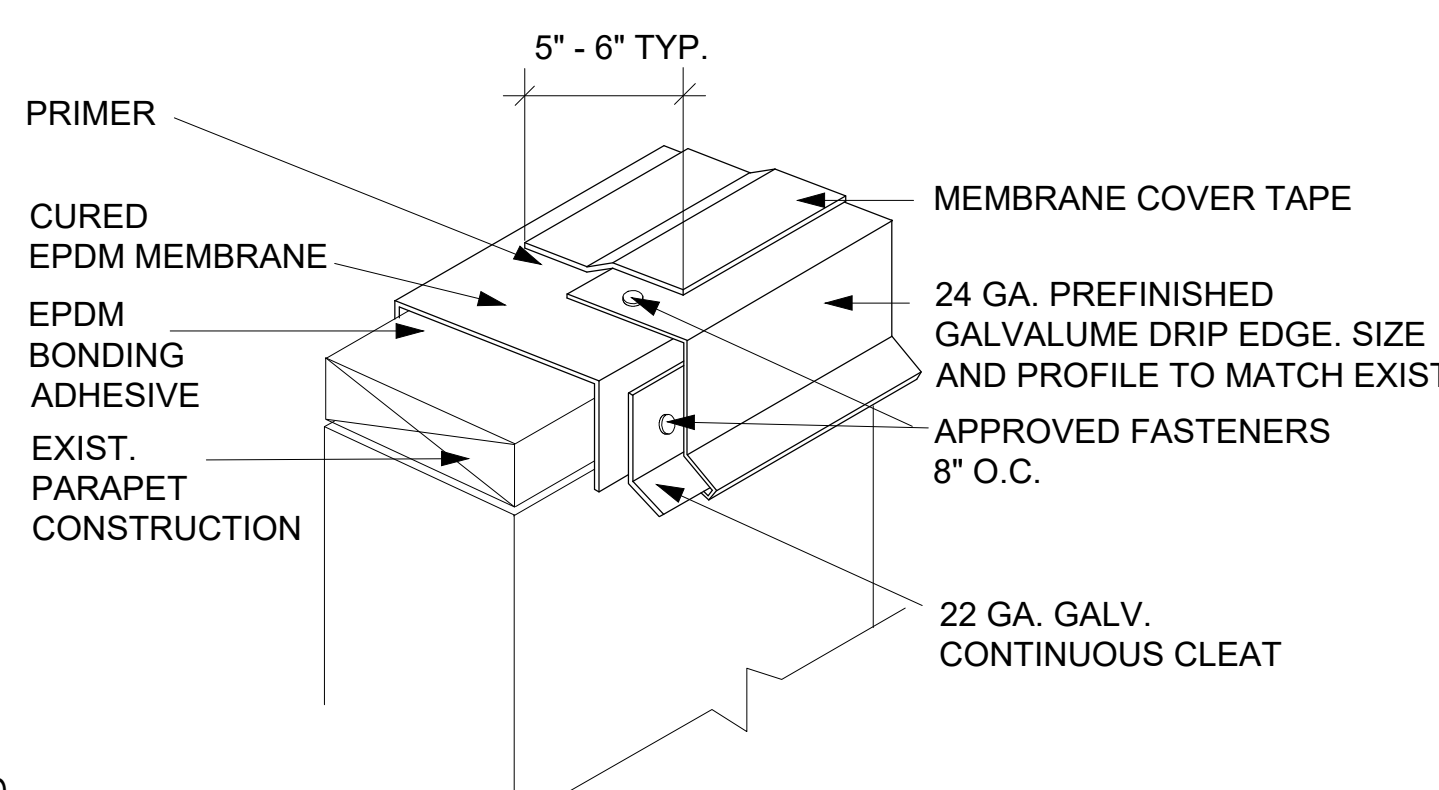
2 TYP. ROOF DRAIN DETAIL
SCALE: N.T.S.



3 TYP. PIPE PENETRATION DETAIL
SCALE: N.T.S.



4 TYP. WALL FLASHING DETAIL
SCALE: N.T.S.



5 TYP. PARAPET FLASHING DETAIL
SCALE: N.T.S.

BALLASTED ROOF REPLACEMENT
THE FAMILY LIVING CENTER
CDBG OPERATIONS CORPORATION
510 NORTH 25th St
EAST ST. LOUIS, IL 62205

MK.	DATE	DESCRIPTION

DATE: 10-04-2021
PROJECT NO: 280-2511
DESIGN: DRAWN: CHECK:
JLV LMV JLV

ROOF PLAN AND DETAILS

A-101