

WASHINGTON MIDDLE SCHOOL PARKING LOT REPAIRS JOHNSTON CITY C.U.S.D. #1 100 EAST 12TH STREET JOHNSTON CITY, WILLIAMSON COUNTY, IL 62951

PROJECT LOCATION

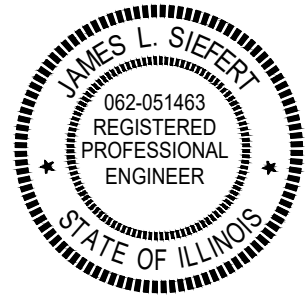
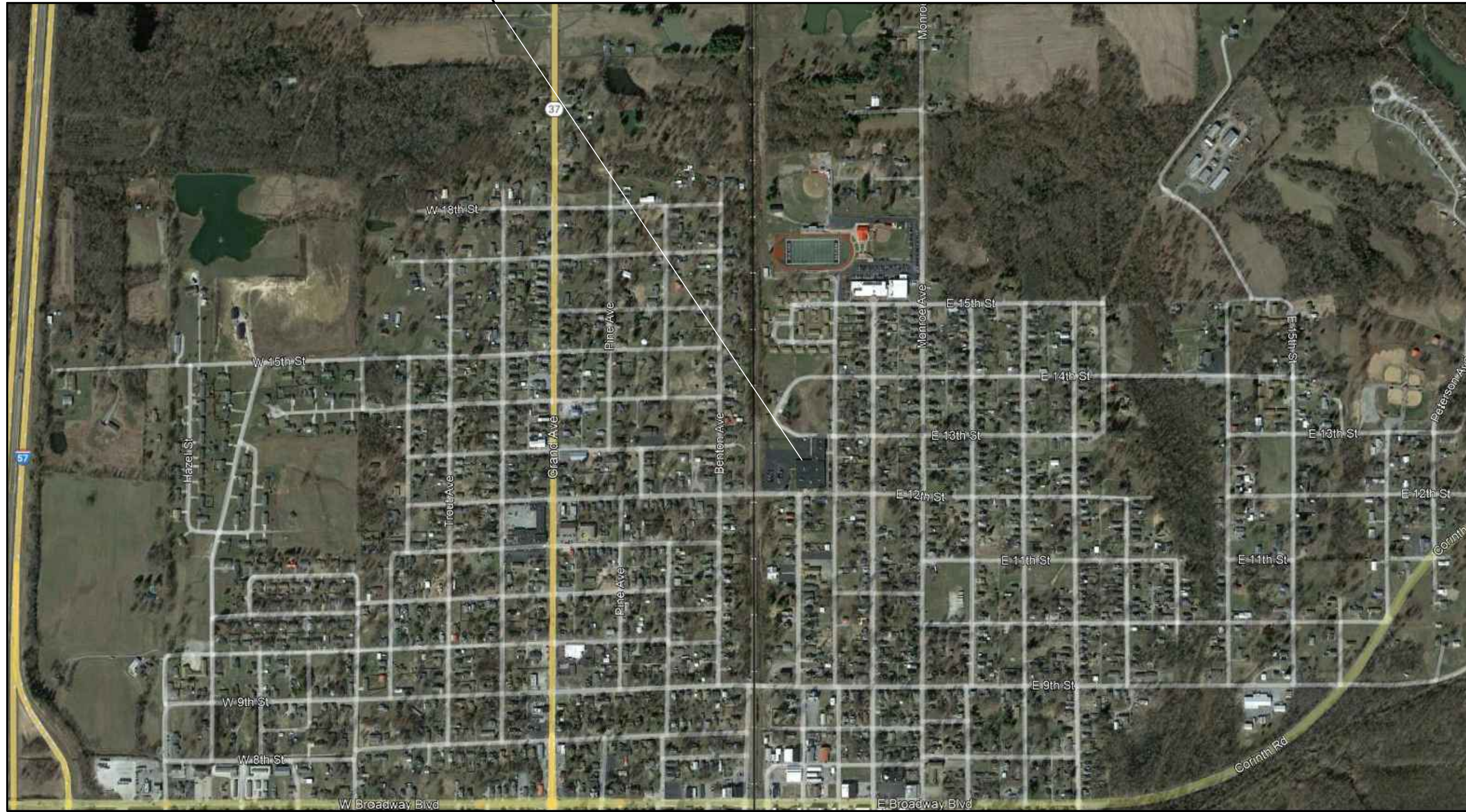


Hurst-Rosche, Inc.
PROFESSIONAL DESIGN NUMBER: 000372

200 NORTH MARKET
MARION, IL
PH: 618.998.0075

www.hurst-rosche.com

EAST ST. LOUIS, IL
HILLSBORO, IL
ARNOLD, MO
NEOSHO, MO
NASHVILLE, TN



James L. Siefert
JAMES L. SIEFERT, PE
DATE: 12-10-2021
LICENSE EXPIRES: 2-28-2022

DATE: 12/10/2021

HR: 390-3171

ABBREVIATIONS

ABV	ABOVE	HP	HORSEPOWER
ACC	ACCESS	HP	HORIZONTAL
ACT	ACOUSTICAL CEILING TILE	HSS	STRUCTURAL TUBE
ACU	AIR CONDITIONING UNIT	HT	HEIGHT
ADJ	ADJACENT	HTG	HEATING
ADJT	ADJUSTABLE	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
AFF	ABOVE FINISH FLOOR	HWS	HOT WATER SUPPLY
AHU	AIR HANDLING UNIT		
ALT	ALTERNATE, ALTERNATIVE		
ALUM	ALUMINUM	IN	INCH
AMPS	AMPERES	INS	INSULATE (D), (ION)
AUTO	AUTOMATIC	INT	INTERIOR
BD	BOARD	JT	JOINT
BLDG	BUILDING		
B.O.	BOTTOM OF	KPL	KICKPLATE
BTU/H	BRITISH THERMAL UNIT PER HOUR		
BTWN	BETWEEN	L	LENGTH
		LL	LIVE LOAD
		LLC	LOCAL LIGHTING
CASS	CASSETTE	LT	CONTROLLER
CF	CUBIC FOOT	LT	LIGHT
CFL	COUNTERFLASHING		
CFM	CUBIC FEET PER MINUTE	M/MECH	MECHANICAL
CJ	CONTROL JOINT	MAX	MAXIMUM
CLG	CEILING	MBH	1,000 BTU/Hr.
CMU	CONCRETE MASONRY UNIT	MED	MEDIUM
CO	CLEAN OUT	MFG	MANUFACTURE (ER)
COL	COLUMN	MIN	MINIMUM
CONC	CONCRETE	MISC	MISCELLANEOUS
CONST	CONSTRUCTION	MO	MASONRY OPENING
CONT	CONTINUOUS	MOV	MOVABLE
CONTR	CONTROLLER BOX	MF	METAL PANEL
COTF	CLEAN OUT TO FLOOR	MT	MOUNT (ED), (ING)
COTG	CLEAN OUT TO GRADE	MTL	METAL
COTW	CLEAN OUT TO WALL		
CPT	CARPET (ED)	No	NUMBER
CS	COUNTERSINK	NOM	NOMINAL
CSBA	COLOR SELECTED BY ARCHITECT	NTS	NOT TO SCALE
		O.A.	OUTDOOR AIR
CT	CARPET TILE	O.C.	ON CENTER
CU-X	CONDENSER UNIT	OH	OVERHEAD
CWS	COLD WATER SUPPLY	OS	OCCUPANCY SENSOR
		OPP	OPPOSITE
		OWSJ	OPEN WEB STEEL JOIST
DBL	DOUBLE	PCC	PORTLAND CEMENT CONCRETE
DEG	DEGREES	PEMB	PRE-ENGINEERED METAL BUILDING
DEMO	DEMOLISH, DEMOLITION		
DIAG	DIAGONAL	PP	POWER PACK
DIAM	DIAMETER	PS	PULL SWITCH
DIM	DIMENSION	PT	PAINT (ED)
DISP.	DISPENSER		
DIV	DIVISION		
DR	DOOR	RB	RUBBER BASE
DS	DOWNSPOUT	RF	RUBBER FLOORING
DT	DRAINTILE	RM	ROOM
DWG	DRAWING	RO	ROUGH OPENING
		RR	RESTROOM
EL	EMERGENCY LIGHT	RTU	ROOF TOP UNIT
ELEC	ELECTRIC (AL)		
ERV	EMERGENCY RECOVERY VENTILATION	SHT	SHEET
		SIM	SIMILAR
EXG	EXISTING	SS	STANDING SEAM
		STL	STEEL
F	DEGREES FAHRENHEIT		
FA	FIRE ALARM	TB	TILE BASE
FACP	FIRE ALARM CONTROL PANEL	T.O	TOP OF
FC	FAN COIL	TYP	TYPICAL
FD	FLOOR DRAIN		
FF	FINISHED FLOOR	UH	UNIT HEATER
FOUND	FOUNDATION		
FP	FIREPROOF	VA	VOLT AMPS
FT	FEET	VB	VAPOR BARRIER
FTG	FOOTING	VTR	VENT THROUGH ROOF
GA	GAUGE	WD	WOOD
GFCI	GROUND FAULT CIRCUIT	WF	WALL FINISH
GWB	GYPSUM WALL BOARD	WH-X	WATER HEATER
GYP	GYPSUM	WP	WATER PROOFING
		WWF	WELDED WIRE FABRIC
		W/	WITH
HC	HOLLOW CORE	W/O	WITHOUT
HM	HOLLOW METAL		

CODE REFERENCE
USE GROUP: EDUCATION GROUP (E)
CONSTRUCTION TYPE: IIB
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL FIRE CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
2014 NATIONAL ELECTRIC CODE

GENERAL NOTES

- RIGHT-OF-WAYS, PROPERTY LINES, AND TOPOGRAPHY SHOWN HEREON HAVE BEEN TAKEN FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION.
- EXCEPT AS NOTED IN THE PLANS, PAVEMENT GRADES ARE AT THE TOP OF PAVEMENT SURFACES.
- ALL SAW CUTTING OF EXISTING PAVEMENT SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE MINIMUM SAW CUT DEPTH IN THE PAVEMENT SHALL BE 12" UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- THE CONTRACTOR SHALL COORDINATE WITH THE SCHOOL DISTRICT REGARDING CONTRACTOR PARKING AND CONSTRUCTION STAGING.
- PERMITS AND LICENSES OF A TEMPORARY NATURE NECESSARY FOR THE PROCESSION OF WORK SHALL BE SECURED AND PAID BY THE CONTRACTOR.
- THE ENGINEER WILL PERFORM COMPACTION AND CONCRETE TESTING IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION LAYOUT AND STAKING.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE OF OR PREVENTING EROSION OF THE SOIL EXPOSED BY DISTURBANCE DUE TO THEIR OPERATIONS. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL IN ACCORDANCE WITH SECTION 280 OF THE IDOT STANDARD SPECIFICATIONS AND AS OUTLINED IN THE PLANS. NO ADDITIONAL COMPENSATION IS ALLOWED FOR TEMPORARY EROSION CONTROL.
- CONTRACTOR SHALL COORDINATE WITH OWNER FOR ALL ACTIVITY, PROCEDURES, CLEARANCES, AND REQUIREMENTS TO ACCESS THE EXISTING FACILITIES. SUCH PROCEDURES ARE INCIDENTAL TO THE CONTRACT AND SHALL NOT RESULT IN EXTRA COSTS TO OWNER.
- CONTRACTORS SHALL COORDINATE ALL WORK WITH THE OWNER, ARCHITECT/ENGINEER, AND OTHER CONTRACTORS THROUGHOUT THE PROJECT.
- EXISTING SITE AND BUILDING WILL BE OCCUPIED THROUGHOUT CONSTRUCTION. DO NOT BLOCK ENTRANCES/EXIT. COORDINATE WITH OWNER FOR ANY SCHEDULED OCCUPANCY.
- THE CONTRACTOR SHALL TAKE NOTE OF ALL EXISTING SITE CONDITIONS AND BE PREPARED TO MOVE OR DISPOSE OF OBJECTS OR MATERIALS WITHIN THE LIMITS OF THE PROJECT. SUCH WORK SHALL NOT BE CAUSE FOR ADDITIONAL COMPENSATION FOR CHANGE IN SCOPE.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- DIMENSIONS NOTED ON THE DRAWINGS ARE FOR GENERAL INFORMATION ONLY. PRIOR TO SUBMITTING A BID PROPOSAL, THE CONTRACTOR SHALL THOROUGHLY SURVEY THE EXISTING FACILITIES TO VERIFY EXISTING DIMENSIONS, CONDITIONS, AND DETERMINE ALL MATERIALS, LABOR AND INCIDENTALS NEEDS FOR COMPLETION OF THE INTENDED DESIGN/CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND FIELD CONDITIONS PRIOR TO FABRICATION OR CONSTRUCTION. MAKE MINOR ADJUSTMENTS, AND NOTIFY THE ARCHITECT/ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE WORK.
- DIMENSIONS OF EXISTING CONDITIONS WERE TAKEN FROM DRAWINGS OF EXISTING BUILDING. THEIR COMPLETE ACCURACY CANNOT BE GUARANTEED. FIELD VERIFY ALL CONDITIONS PRIOR TO AND DURING CONSTRUCTION.
- ALL EXISTING FINISHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL IN MATERIAL PRIOR TO WHEN CONSTRUCTION BEGAN. AFTER ALL WORK IS COMPLETED, CONTRACTOR SHALL CLEAN WORK AREAS SO THAT THEY ARE FREE OF ANY CONSTRUCTION MATERIALS, TOOL, DIRT AND DEBRIS. FINE GRADE, FERTILIZE, SEED, AND STRAW ALL DISTURBED LAWN AREAS.
- EXISTING SITE IMPROVEMENTS DISTURBED OUTSIDE DESIGNATED CONSTRUCTION AREAS ARE TO BE REPLACED WITH EQUAL OR BETTER CONSTRUCTION AT THE EXPENSE OF THE CONTRACTOR. EVERY EFFORT SHALL BE MADE TO MINIMIZE SUCH DISTURBANCES.
- INFORMATION NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENTIRE LAYOUT OF THE SITES AND ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES AND REQUIRED CLEARANCES VERTICAL/HORIZONTAL. CONTRACTOR SHALL MAKE ADJUSTMENTS TO ENSURE PROPER INSTALLATION OF REQUIRED WORK AT NO EXTRA COST TO THE OWNER.
- EXISTING SITE VEGETATION AND CONSTRUCTION, SUCH AS SIDEWALKS, STOOPS, ETC. THAT ARE DISTURBED AND/OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH EQUAL OR BETTER CONSTRUCTION AT THE EXPENSE OF THE CONTRACTOR. EVERY EFFORT SHALL BE MADE TO MINIMIZE SUCH DISTURBANCES AND DAMAGES.
- ALL ITEMS NOTED TO REMAIN SHALL NOT BE DISTURBED AND SHALL REMAIN IN PLACE. CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE ANY DISTURBANCES. IN THE EVENT EXISTING ITEMS ARE DISTURBED, CONTRACTOR SHALL REPAIR/REPLACE WITH EQUAL OR BETTER CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
- ALL REFUSE AND DEBRIS SHALL BE REMOVED FORM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS. CLEAN ALL WORK AREAS DAILY.
- MAINTAINING DRAINAGE - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN DRAINAGE FLOWS AT ALL TIMES DURING THE PERFORMANCE OF THE WORK. DAMAGE RESULTING FROM IMPROPER MAINTENANCE OF DRAINAGE SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. COST OF MAINTAINING FLOWS IS INCIDENTAL TO THE CONTRACT.
- FINE GRADE, FERTILIZE, SEED AND STRAW ALL LAWN AREAS DAMAGED OR DISTURBED DURING CONSTRUCTION.
- AFTER ALL WORK IS COMPLETED, CONTRACTOR SHALL CLEAN ALL AREAS AFFECTED BY CONSTRUCTION SO THAT THEY ARE FREE OF ANY CONSTRUCTION DIRT AND DEBRIS.
- NEW WORK SHALL MATCH EXITING ADJOINING CONSTRUCTION FOR A SMOOTH TRANSITION, EXCEPT WHERE NOTED.

GENERAL NOTES CONT.

- NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING UTILITIES AND ANY DAMAGE TO THEM DUE TO HIS NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT/ENGINEER PRIOR TO USE OF ANY SCAFFOLDING, LIFTS, SWING STAGES, ETC. USE OF SUCH MATERIALS AND EQUIPMENT SHALL MEET ALL FEDERAL, STATE, AND LOCAL SAFETY REGULATIONS AND ORDINANCES.
- EXCAVATION AND BACKFILL:
 - A. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL VEGETATION AFFECTING CONSTRUCTION WITHIN THE CONSTRUCTION LIMITS SHOWN ON THE PLANS IN ACCORDANCE WITH THE SPECIFICATIONS UNLESS OTHERWISE NOTED IN THE PLANS. ALL REMOVED VEGETATION SHALL BE DISPOSED OF WITHIN 7 DAYS OF REMOVAL.
 - B. AREAS TO RECEIVE FILL SHALL BE SCARIFIED TO A DEPTH OF 6" AND COMPACTED TO MINIMUM 95% COMPACTION FOR ALL LIFTS BASED ON THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH THE SPECIFICATIONS.
 - C. PLACE AND COMPACT FILL IN LIFTS NOT TO EXCEED 8" WHEN IN LOOSE CONDITION. FILL SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS.
 - D. THE CONTRACTOR SHALL DISPOSE OF ALL UNSTABLE AND/OR UNSUITABLE MATERIALS RESULTING FROM CONSTRUCTION OF THIS PROJECT. SUCH MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR AT HIS OWN EXPENSE OUTSIDE THE LIMITS OF OWNER PROPERTY IN SUCH A MANNER THAT PUBLIC OR PRIVATE PROPERTY WILL NOT BE DAMAGED OR ENDANGERED.
 - E. PROPOSED CONTOURS GENERALLY REFLECT ULTIMATE FINISH GRADE. FOR EARTH GRADES, THE FULL DEPTH OF PAVEMENT MUST BE SUBTRACTED FROM THE ELEVATIONS SHOWN. SEE PAVEMENT SECTION DETAILS AS APPLICABLE FOR ROADWAYS, SIDEWAYS AND PARKING AREAS.
 - F. THE REMOVAL OF UNSTABLE MATERIAL IN ALL CUT AND FILL AREAS AND THEIR REPLACEMENT WITH SATISFACTORY MATERIAL, WHERE REQUIRED, SHALL BE INCLUDED IN THE COST OF THE CONTRACT.
 - G. CONTRACTOR SHALL PROVIDE EROSION AND SILTATION CONTROL, AS NEEDED, TO PREVENT DAMAGE OF OFFSITE PROPERTIES UNTIL VEGETATION IN ALL DISTURBED AREAS HAS BEEN ESTABLISHED, AT WHICH HE SHALL BE RESPONSIBLE FOR REMOVAL OF ALL TEMPORARY EROSION CONTROL AND REPAIR OF ANY ERODED AREAS.
 - H. THE CONTRACTOR SHALL GRADE AND PREPARE ALL SUBGRADES TO WITHIN 0.1 FEET OF PLAN GRADE.
- ANY PROPERTY CORNERS OR OTHER PERMANENT SURVEY CONTROL MONUMENTS DISTURBED BY CONSTRUCTION SHALL BE VERIFIED AND/OR RESET AT THE CONCLUSION OF THE PROJECT CONSTRUCTION BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF ILLINOIS AND EMPLOYED BY THE CONTRACTOR. WRITTEN VERIFICATION SHALL BE PROVIDED TO THE SCHOOL DISTRICT. THROUGH THE ENGINEER, THAT ALL SAID EXISTING PROPERTY CORNERS AND/OR PERMANENT SURVEY CONTROL MONUMENTS SHOWN IN THE CONSTRUCTION PLANS HAVE BEEN PROTECTED AND/OR RESET.
- ABANDONED UNDERGROUND UTILITIES THAT CONFLICT WITH CONSTRUCTION SHALL BE DISPOSED OF OUTSIDE THE LIMITS OF OWNER PROPERTY ACCORDING TO ARTICLE 202.03 OF THE IDOT STANDARD SPECIFICATIONS AND AS DIRECTED BY THE ENGINEER. THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- THE EXISTING UTILITY INFORMATION AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION PRIOR TO AND DURING CONSTRUCTION. THE ENGINEER AND THE SCHOOL DISTRICT DO NOT WARRANT OR GUARANTEE THE COMPLETENESS OR THE CORRECTNESS OF THE INFORMATION GIVEN.
- MANHOLE RIM ELEVATIONS SHOWN ON THE PLANS ARE APPROXIMATE. CONTRACTOR SHALL MAKE ADJUSTMENTS NECESSARY SUCH THAT THE TOP OF MANHOLE IS FLUSH WITH THE GROUND SURFACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE UTILITY PROPERTY FROM CONSTRUCTION OPERATIONS AS OUTLINED IN ARTICLE 107.31 OF THE IDOT STANDARD SPECIFICATIONS. THE J.U.L.I.E. NUMBER IS 800-892-0123. A MINIMUM OF FORTY-EIGHT HOURS ADVANCE NOTICE IS REQUIRED.

SHEET LIST

G-001	COVER SHEET
G-002	GENERAL NOTES
C-101	SITE DEMO PLAN
C-102	DRAINAGE
C-103	PAVEMENT PLAN
C-501	DETAILS

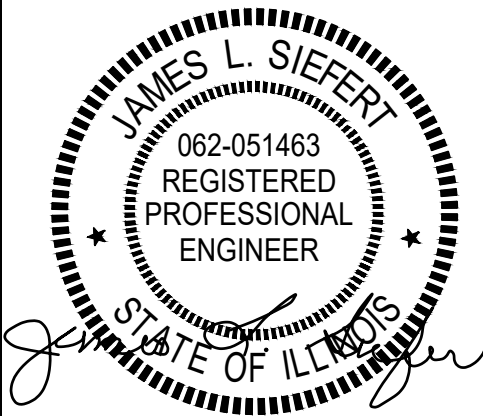
UTILITY OWNERS

GAS & ELECTRIC:	AMEREN PH: 1 (800) 552-7583
TELEPHONE:	FRONTIER/CTS PH: (618) 997-1062
FIBER OPTIC:	FUTIVA PH: (618) 736-2901
WATER:	JOHNSTON CITY PH: (618) 983-5223
SEWER:	JOHNSTON CITY PH: (618) 983-5223

Hurst-Rosche, Inc.
PROFESSIONAL DESIGN NUMBER: 164-00288

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HILLSBORO, IL
EAST ST. LOUIS, IL
ARNOLD, MO
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NASHVILLE, TN



SIGNATURE: *James L. Siefert*
DATE: 12-10-2021
LICENSE EXPIRES: 02-28-2022

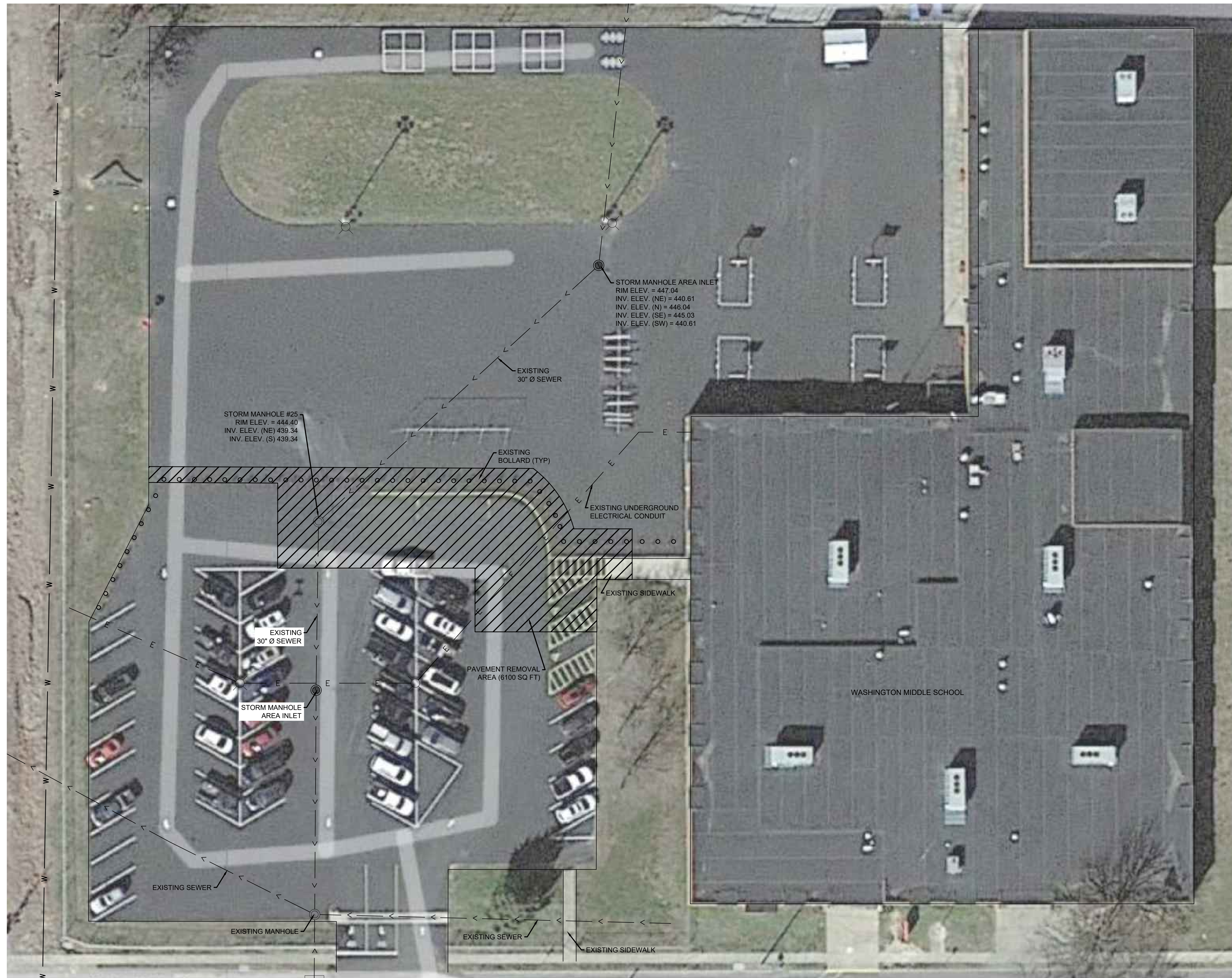
PARKING LOT REPAIRS
WASHINGTON MIDDLE SCHOOL
JOHNSTON CITY C.U.S.D.#1
100 EAST 12TH STREET
JOHNSTON CITY, WILLIAMSON COUNTY, ILLINOIS 62951

NO.	DATE	DESCRIPTION

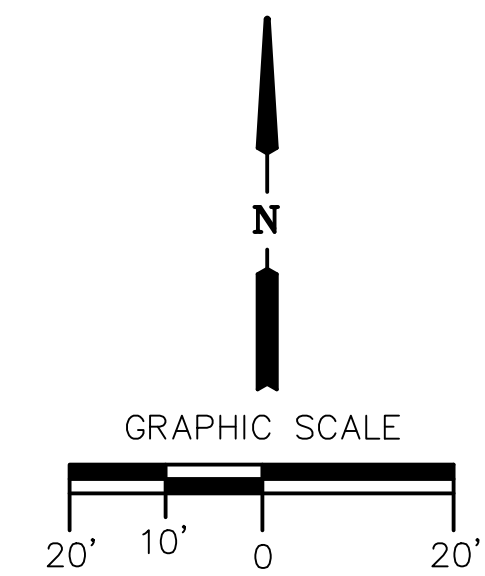
DATE: 12-10-2021
PROJECT NO: 390-3171
DESIGN: DML DRAWN: JEA CHECK: DML

GENERAL NOTES

G-002

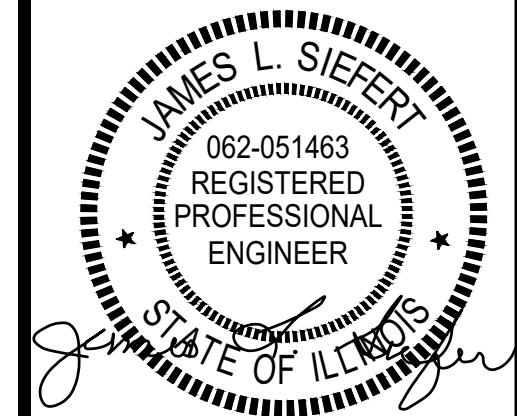


1 DEMO PLAN
C-101 SCALE: 1" = 20'
NORTH



- GENERAL NOTES:**
1. REMOVE DESIGNATED PAVEMENT TO A DEPTH OF APPROXIMATELY 12".
 2. EXISTING BOLLARDS TO BE EITHER LEFT IN PLACE OR REMOVED AND REINSTALLED.
 3. DISPOSE OF ALL WASTE MATERIAL OFF-SITE.

HR
Hurst-Rosche, Inc.
PROFESSIONAL DESIGN NUMBER: 154-000298
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ARNOLD, MO
NEOSHO, MO
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SIGNATURE
12-10-2021
DATE 02-28-2022
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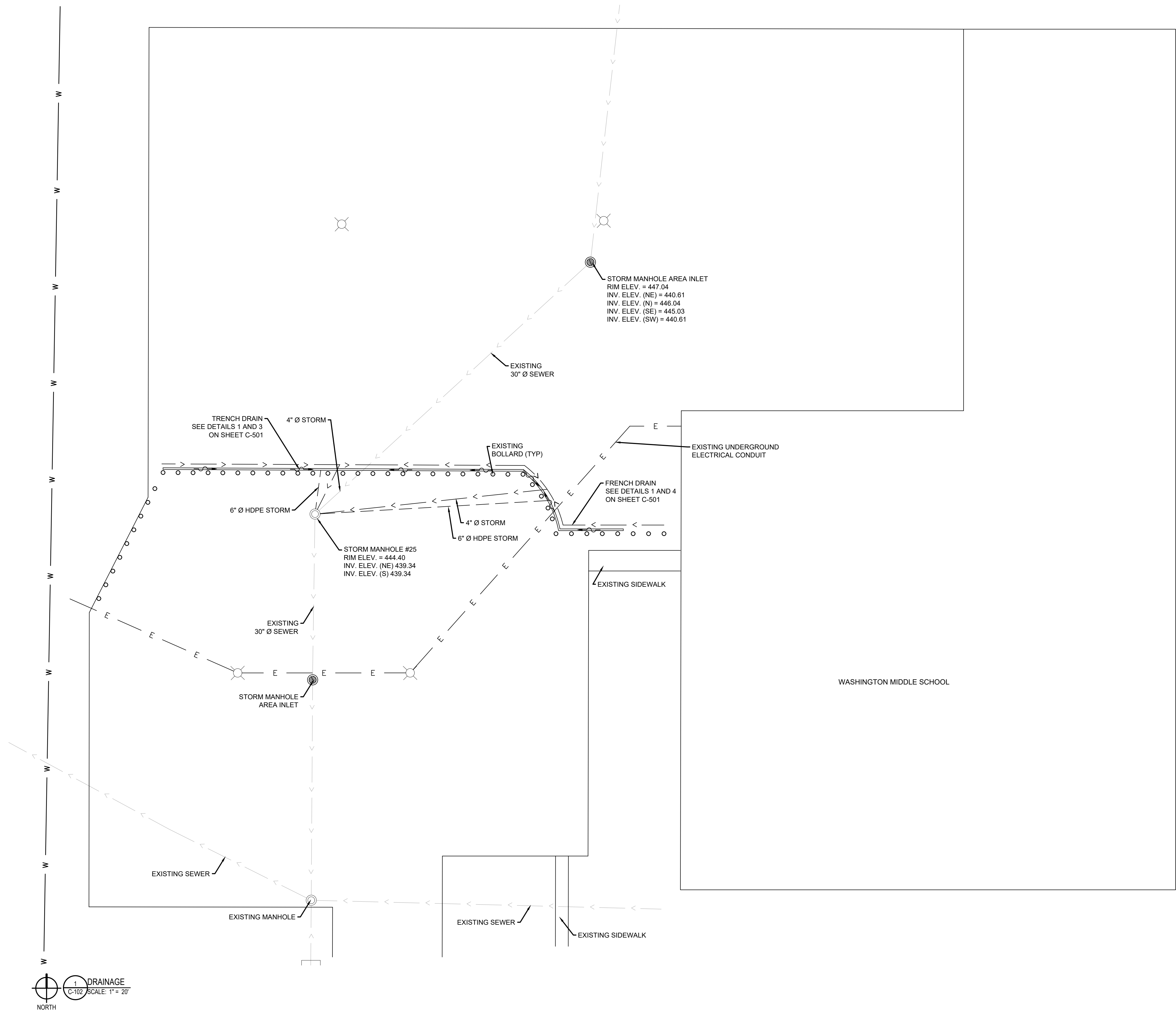
PARKING LOT REPAIRS
WASHINGTON MIDDLE SCHOOL
JOHNSTON CITY C.U.S.D.#1
100 EAST 12TH STREET
JOHNSTON CITY, WILLIAMSON COUNTY, ILLINOIS 62951

MK.	DATE	DESCRIPTION

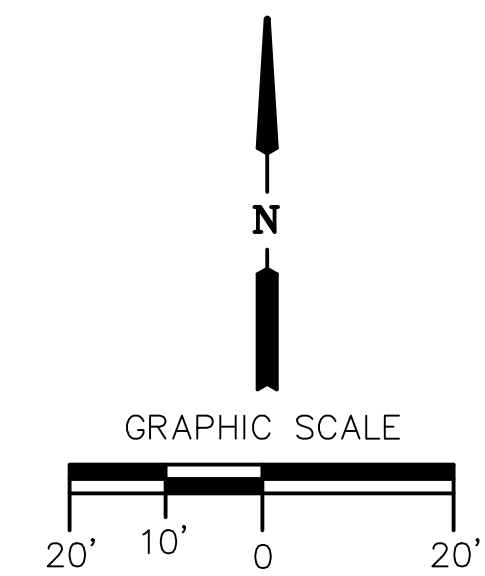
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PROJECT NO: 390-3171
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DEMO PLAN

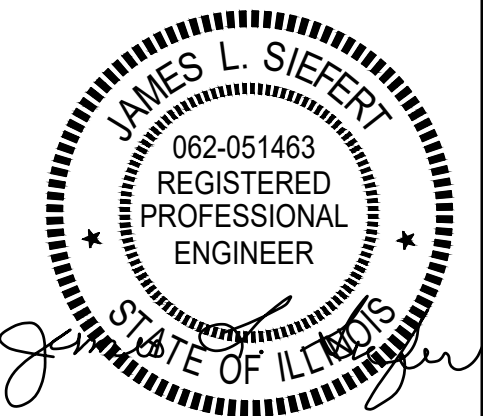
C-101



1 DRAINAGE
C-102 SCALE: 1" = 20'
NORTH



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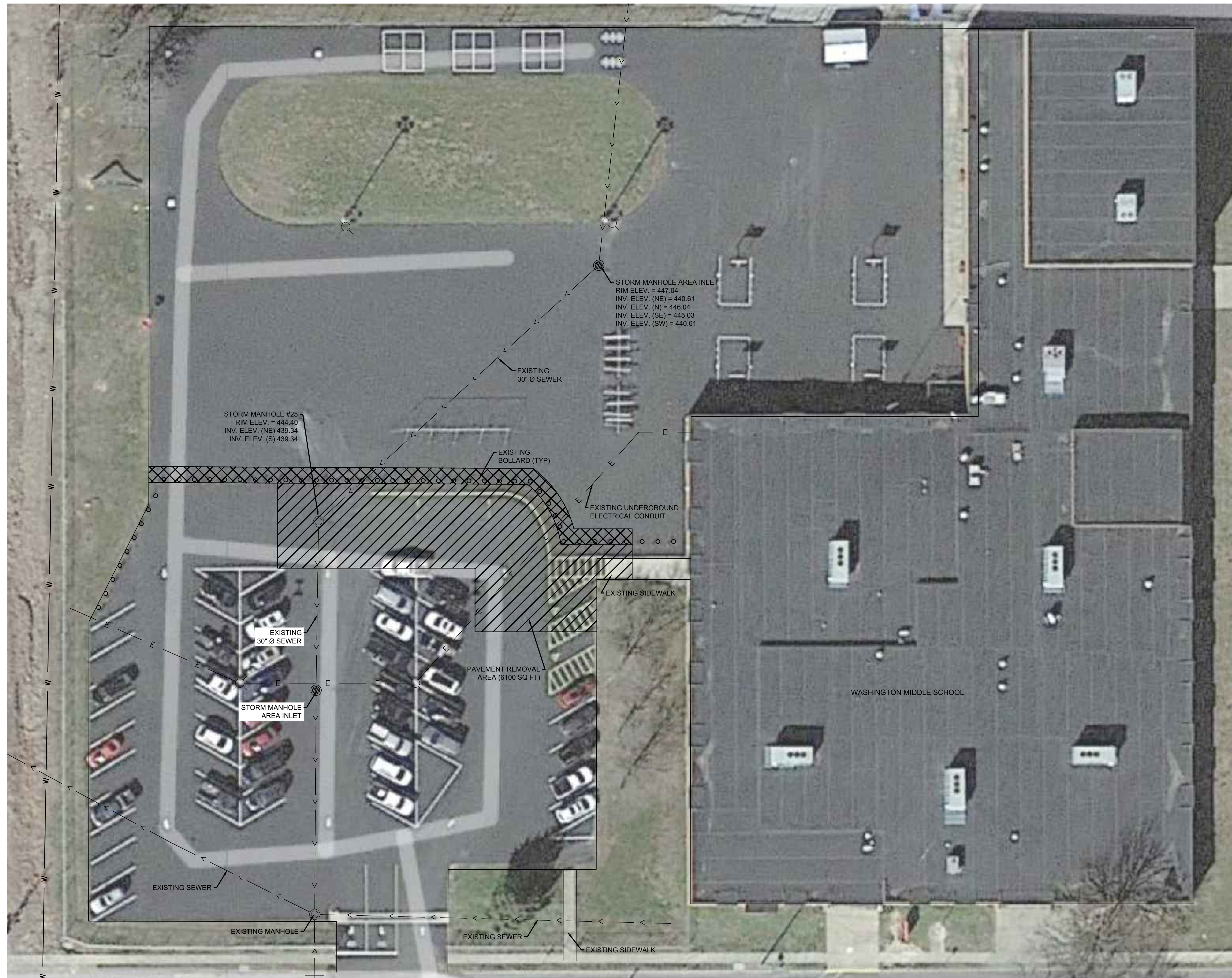
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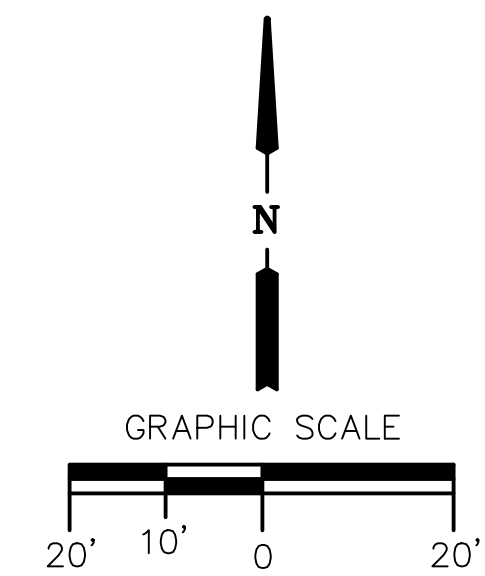
DRAINAGE

C-102

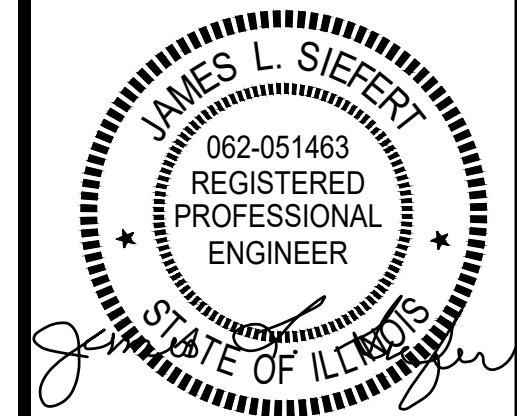


PAVING LEGEND:

	8" PCC WITH WWF - APPROXIMATELY 1250 SQ. FT.
	4" PCC WITH WWF - APPROXIMATELY 4850 SQ. FT.



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PAVEMENT PLAN

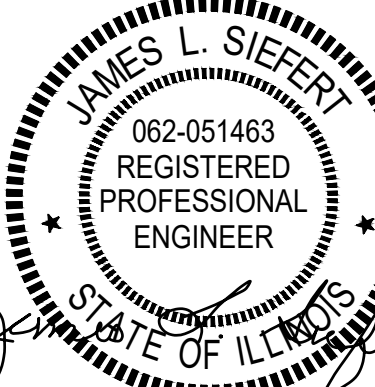
C-103

1 DEMO PLAN
 C-103 SCALE: 1" = 20'
 NORTH



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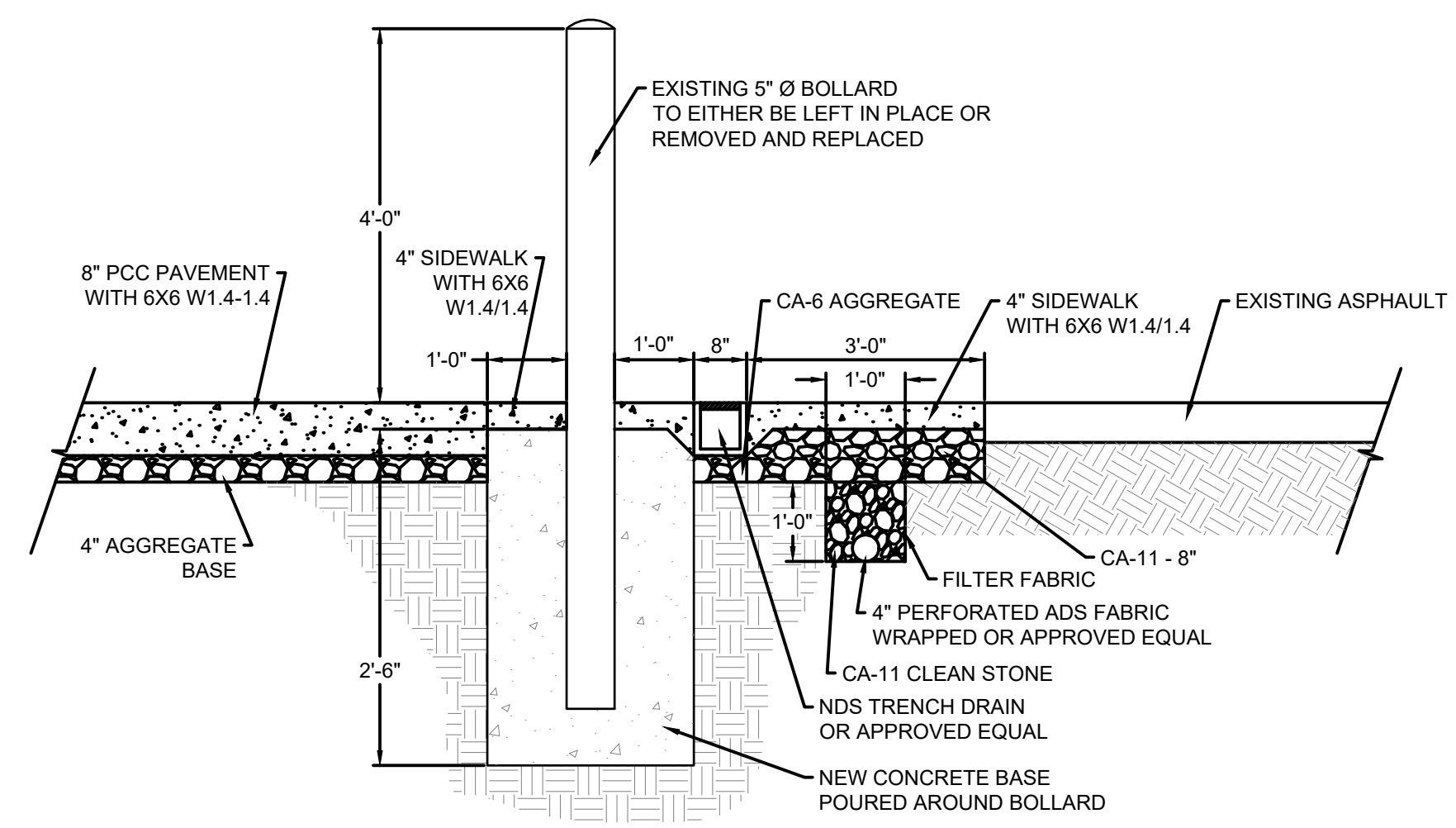
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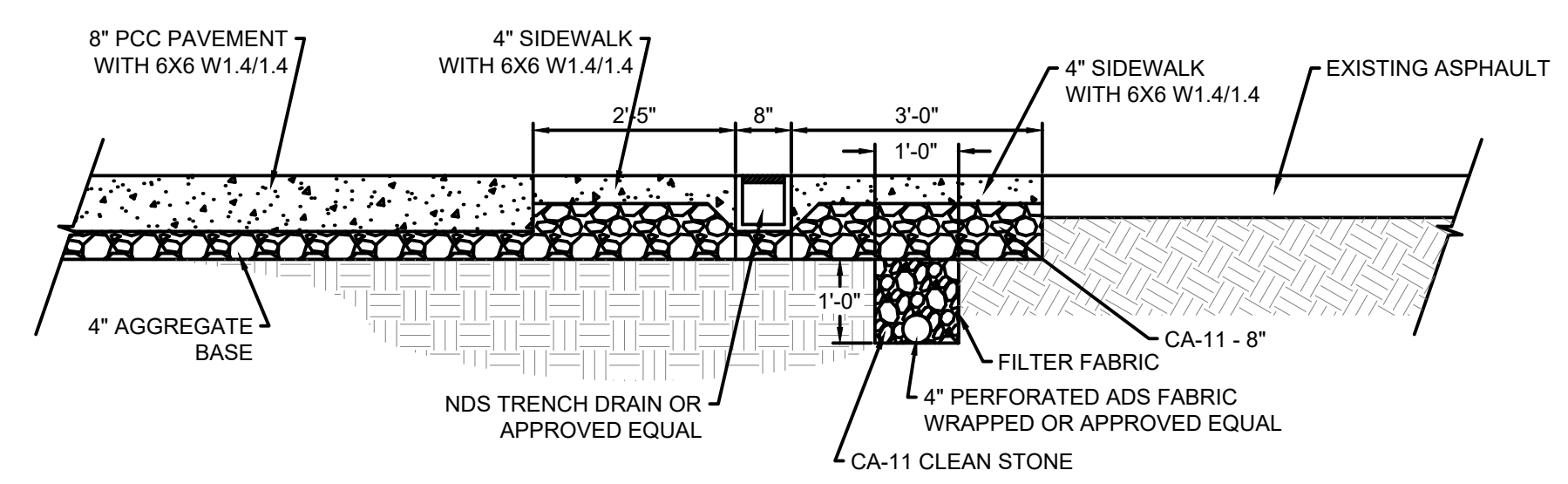
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DETAILS

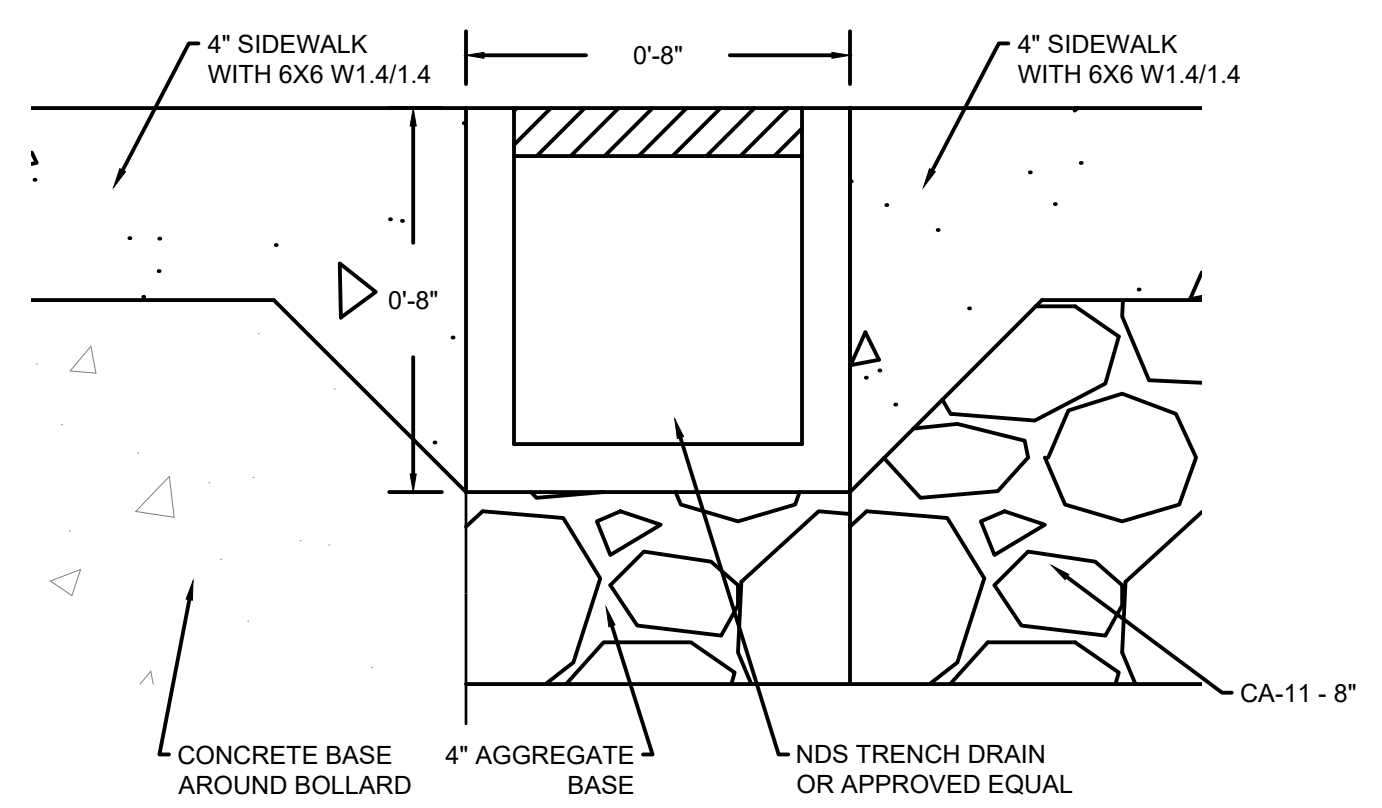
C-501



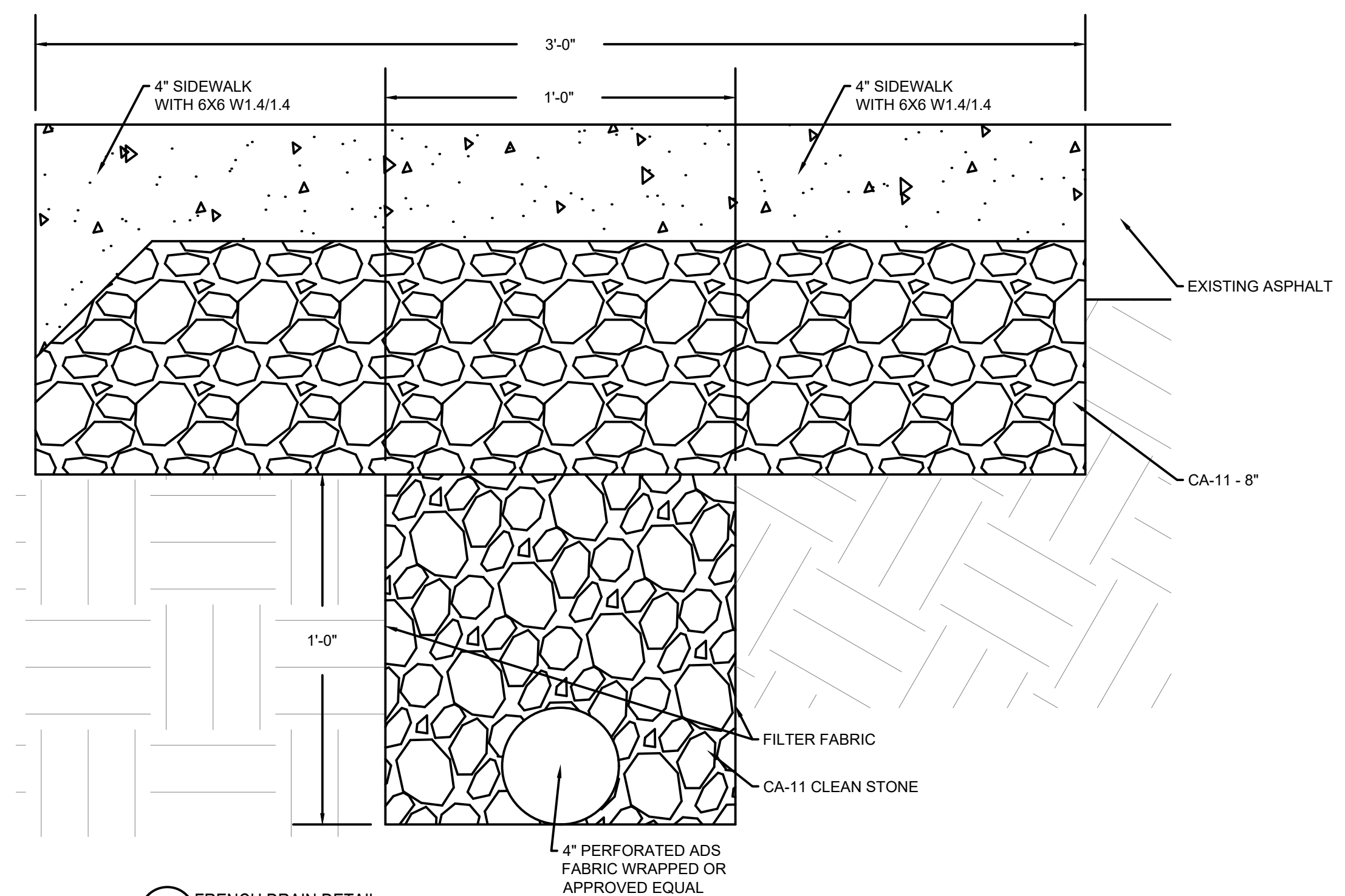
1 PARKING LOT REPAIR DETAIL
A-501 SCALE: N.T.S.



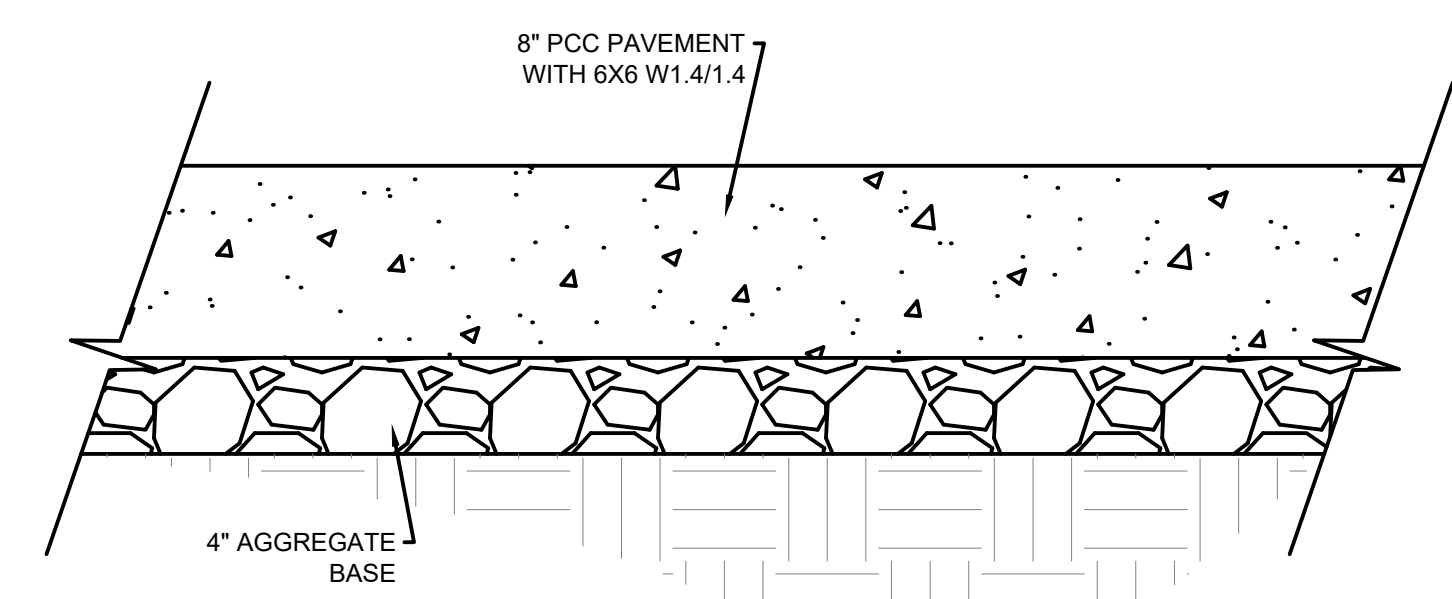
2 PARKING LOT REPAIR DETAIL
A-501 SCALE: N.T.S.



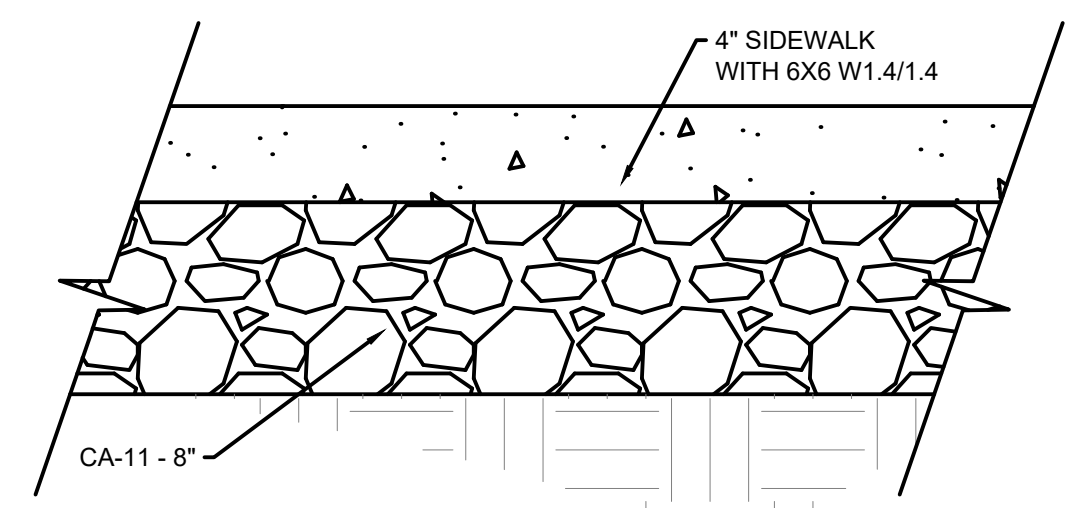
3 TRENCH DRAIN DETAIL
A-501 SCALE: N.T.S.



4 FRENCH DRAIN DETAIL
A-501 SCALE: N.T.S.



5 PCC PAVEMENT DETAIL
A-501 SCALE: N.T.S.



6 4\"/>