

CITY HALL ROOF REPLACEMENT CITY OF COLUMBIA 700 NORTH GARDEN STREET COLUMBIA, TENNESSEE 38401



ARCHITECT / ENGINEER:

HURST-ROSCHE, INC.
1101 KERMIT DRIVE, SUITE 620
NASHVILLE, TENNESSEE 37217
(615) 454-6615

1400 E. TREMONT ST., P.O. BOX 130
HILLSBORO, ILLINOIS 62049
(217) 532-3959

NO. 5 BANK SQUARE
EAST ST. LOUIS, ILLINOIS 62203
(618) 398-0890

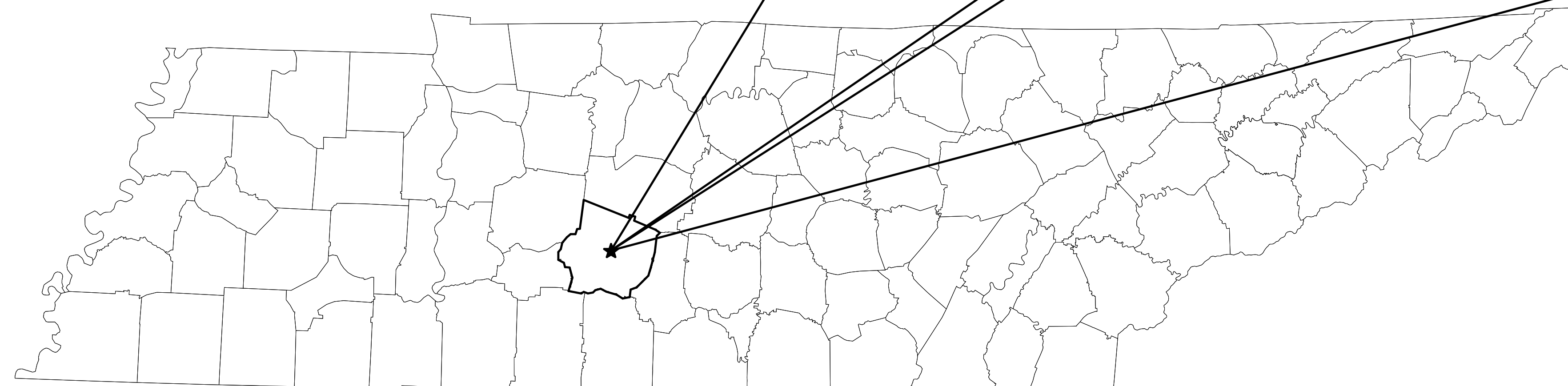
200 N. MARKET ST.
MARION, ILLINOIS 62959
(618) 998-0075 FAX (618) 998-0076

3675 W. OUTER RD., SUITE 205
ARNOLD, MISSOURI 63010
(636) 333-3351

2121 W. WHITE OAKS DR., SUITE D
SPRINGFIELD, ILLINOIS 62704
(217) 679-1671



PROJECT LOCATION



AREA LOCATION MAP



DATE: 08.30.2024
LICENSE EXPIRES: 04.30.2026

CODE COMPLIANCE:

ALL WORK DEPICTED IN THE BID DOCUMENTS MUST COMPLY WITH THE FOLLOWING CODES AND REGULATIONS:
2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL PLUMBING CODE
2012 INTERNATIONAL EXISTING BUILDING CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

DATE: 08.30.2024

SYMBOL LEGEND			
CONCRETE	GYP SUM	WOOD	STEEL
RIGID INS	BRICK	CMU	BATT INS

SHEET LIST	
SHEET NUMBER	SHEET NAME
G-101	COVER SHEET
G-102	GENERAL NOTES
G-103	SITE PLAN & STAGING
A-101	ROOF PLAN
A-601	ROOF DETAILS
A-602	ROOF DETAILS CONT.

ABBREVIATIONS			
ABV	ACCESS	HP	HORSEPOWER
A.C.T.	ACOUSTICAL CEILING TILE	HORIZ	HORIZONTAL
ACU	AIR CONDITIONING UNIT	HSS	STRUCTURAL TUBE
ADJ	ADJACENT	HT	HEIGHT
ADJT	ADJUSTABLE	HTG	HEATING
AFF	ABOVE FINISHED FLOOR	HVAC	HEATING, VENTILATION, AND
AHU	AIR HANDLING UNIT	AIR COND	AIR CONDITIONING
ALT	ALTERNATE, ALTERNATIVE	HWS	HOT WATER SUPPLY
ALUM	ALUMINUM	IN	INCH
AMPS	AMPERES	INS	INSULATE, (D), (ION)
AUTO	AUTOMATIC	INT	INTERIOR
BD	BOARD	JT	JOINT
BLDG	BUILDING	KPL	KICKPLATE
B.O.	BOTTOM OF	L	LENGTH
BTU/H	BRITISH THERMAL UNIT PER	LL	LIVE LOAD
HOUR		LLC	LOCAL LIGHTING CONTROLLER
BTWN	BETWEEN	LT	LIGHT
CASS	CASSETTE	M/MECH	MECHANICAL
CF	CUBIC FOOT	MAX	MAXIMUM
CFL	COUNTERFLASHING	MBH	1,000 BTH/H
CJ	CONTROL JOINT	MED	MEDIUM
CLG	CEILING	MFG	MANUFACTURE, (ER), (ING)
CMU	CONCRETE MASONRY	MIN	MINIMUM
CO	CLEAN OUT	MISC	MISCELLANEOUS
COL	COLUMN	MO	MASONRY OPENING
CONC	CONCRETE	MOV	MOVABLE
CONST	CONSTRUCTION	MP	METAL PANEL
CONT	CONTINUOUS	MT	MOUNT, (ED), (ING)
CONTR	CONTRACTOR,	MTL	METAL
CONTROLLER BOX		NO	NUMBER
COTF	CLEAN OUT TO FLOOR	NOM	NOMINAL
COTG	CLEAN OUT TO GRADE	OA	OUTDOOR AIR
COTW	CLEAN OUT TO WALL	OC	ON CENTER
CPT	CARPET	OH	OVERHEAD
CS	COUNTERSINK	OS	OCCUPANCY SENSOR
CSBA	COLD WATER SUPPLY	OPP	OPPOSITE
		OWSJ	OPEN WEB STEEL JOIST
DBL	DOUBLE	PEMB	PRE-ENGINEERED MTL BLDG
DEG	DEGREES	PP	POWER PACK
DEMO	DEMOLISH, DEMOLITION	PS	PULL SWITCH
DIAG	DIAGONAL	PT	PAINT (ED)
DIA	DIAMETER	RB	RUBBER BASE
DIM	DIMENSION	RF	RUBBER FLOORING
DISP	DISPENSER	RM	ROOM
DIV	DIVISION	RO	ROUGH OPENING
DR	DOOR	RR	RESTROOM
DS	DOWNSPOUT	RTU	ROOF TOP UNIT
DT	DRAINTILE	SHT	SHEET
DWG	DRAWING	SIM	SIMILAR
		SS	STAINLESS STEEL
EL	EMERGENCY LIGHT	STL	STEEL
ELEC	ELECTRIC, ELECTRICAL	TB	TILE BASE
ERV	ENERGY RECOVERY	TO	TOP OF
VENTILATOR		TYP	TYPICAL
EXG	EXISTING	UH	UNIT HEATER
F	DEGREES FARENHEIT	VA	VOLT AMPS
FA	FIRE ALARM	VB	VAPOR BARRIER
FACP	FIRE ALARM CONTROL	VTR	VENT THROUGH ROOF
PANEL		WD	WOOD
FC	FAN COIL	WF	WALL FINISH
FD	FLOOR DRAIN	WH	WATER HEATER
FF	FINISHED FLOOR	WP	WATER PROOFING
FOUND	FOUNDATION	W	WITH
FP	FIREPROOF	W/O	WITHOUT
FT	FEET		
FTG	FOOTING		
GA	GAUGE		
GFCI	GROUNDFault CIRCUIT		
GWB	GYP SUM WALL BOARD		
GYP	GYP SUM		
HC	HOLLOW CORE		
HM	HOLLOW METAL		

- GENERAL NOTES**
- ALL WORK SHALL BE BY BASE BID UNLESS OTHERWISE NOTED.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL WORK SHOWN AND DESCRIBED HEREIN IN CONSTRUCTION DRAWING SHEETS AND PROJECT SPECIFICATIONS PRIOR TO BID AS REQUIRED.
 - GENERAL CONTRACTOR SHALL CAREFULLY VERIFY AND COORDINATE ALL PROJECT WORK WITH ALL APPLICABLE CODES PRIOR TO BID AS REQUIRED.
 - GENERAL CONTRACTOR SHALL CAREFULLY VERIFY AND COORDINATE ALL EXISTING CONDITIONS AND DIMENSIONS.
 - CONTRACTOR TO NOTIFY A/E IMMEDIATELY OF ANY DISCOVERED DEFICIENCIES OF STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ETC. SYSTEMS.
 - CONTRACTORS ARE RESPONSIBLE TO REVIEW AND FOLLOW CITY ORDINANCES AS THEY APPLY, WHILE PERFORMING ALL WORK.
 - CONTRACTORS ARE RESPONSIBLE TO REVIEW AND FOLLOW ALL APPLICABLE OSHA REQUIREMENTS AS THEY APPLY, WHILE PERFORMING ALL WORK.

HR

HURST-ROSCHKE, INC.
PROFESSIONAL DESIGN NUMBER: 194-000298
 200 N. MARKET STREET
 MARION, IL
 PH: 618.998.0075

www.hurst-rosche.com
 HILLSBORO, IL
 EAST ST. LOUIS, IL
 ARNOLD, MO
 NASHVILLE, TN
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CITY OF COLUMBIA

700 NORTH GARDEN STREET

COLUMBIA, TENNESSEE 38401

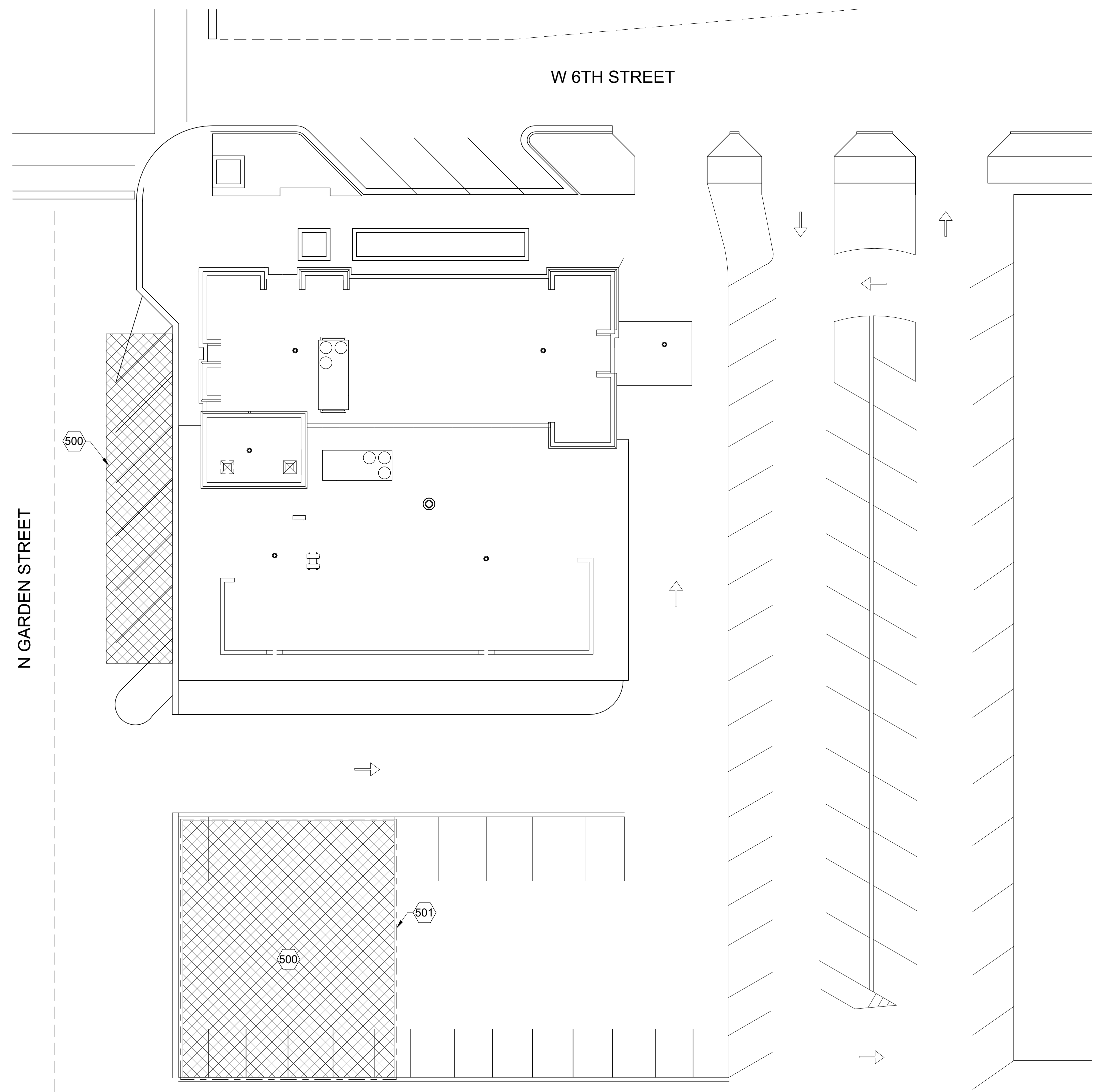
ISSUED FOR BID

MARK	DATE	DESCRIPTION

DATE: 08.30.2024
 PROJECT NO: 350-1234
 DESIGN: CIM DRAWN: CIM CHECK: RE

GENERAL NOTES

G-102



1
G-103
SITE PLAN & STAGING
0' 4' 8' 16' 32'
SCALE: 1/16" = 1'-0"

KEYNOTE LEGEND	
MARK	KEYNOTE
500	RECOMMENDED STAGING AREA. - SEE SITE NOTES
501	PROVIDE CHAIN LINK SECURITY FENCE. - SEE SITE NOTES

KEY LEGEND	
	CHAINLINK FENCE
	PROPOSED CRANE LOCATION/STAGING AREA

- SITE NOTES**
- CONTRACTOR SHALL SUBMIT PROPOSED STAGING PLAN TO A/E.
 - CONTRACTOR SHALL COORDINATE CRANE/LIFT LOCATION WITH OVERHEAD UTILITIES, BEARING CAPABILITY OF PAVED SURFACES, ETC.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CITY CODES AND ORDINANCES.
 - CONTRACTOR SHALL PROVIDE 8'-0" TALL CHAIN LINK CONSTRUCTION/SECURITY FENCE WITH ACCESS GATES TO PROVIDE SECURE STORAGE FOR MATERIALS AND EQUIPMENT.
 - PUBLIC ACCESS ALLEYS SHALL BE OBSTRUCTED ONLY WHEN NECESSARY.
 - CONTRACTOR SHALL PROVIDE ENTRANCE PROTECTION CANOPIES AT ENTRANCES/EXITS SUBJECT TO FALLING DEBRIS.
 - CONTRACTOR SHALL COORDINATE DECOMMISSIONING AND RECOMMISSIONING OF ROOFTOP UNITS AND EQUIPMENT WITH USER'S REPRESENTATIVE.
 - CONTRACTOR SHALL PROVIDE DUMPSTER/HAUL-OFF SERVICES FOR ALL MATERIALS TO BE TORN OFF.
 - CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE TO ALL TURF, LANDSCAPING, AND TREES.
 - CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REPLACING/RESTORING DAMAGE TO THE SITE IN ANY MANNER.



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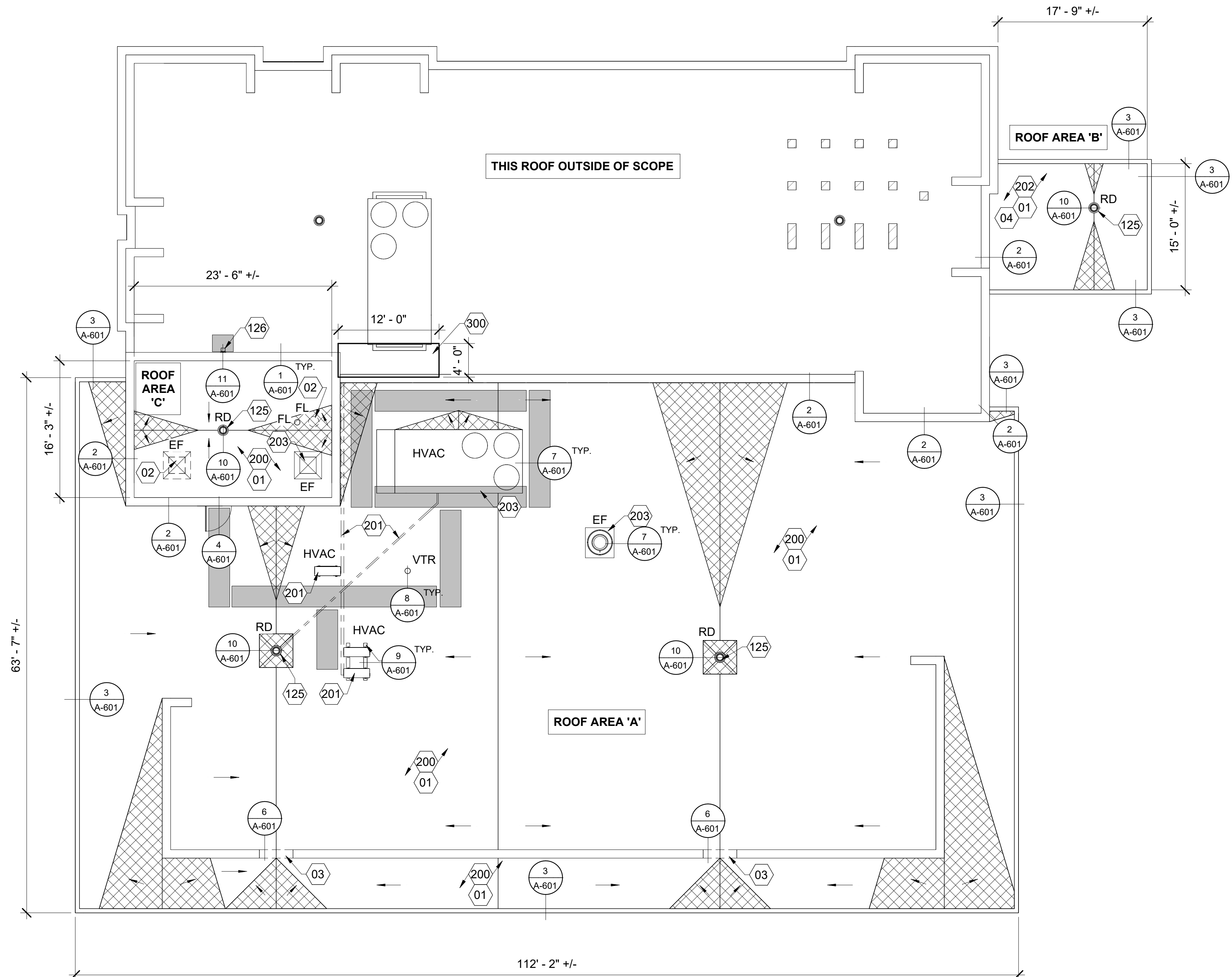
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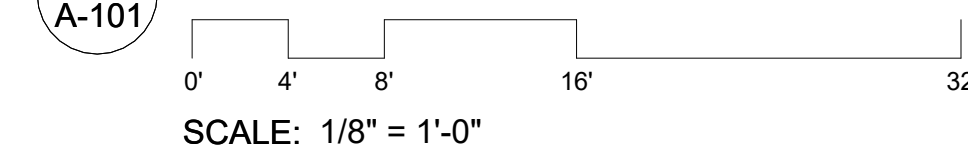
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SITE PLAN & STAGING

G-103



1 ROOF PLAN



KEYNOTE LEGEND

MARK	KEYNOTE
01	REMOVE AND DISPOSE OF EXISTING EPDM ROOF SYSTEM INCLUDING MEMBRANE, INSULATION, AND COVERED BUILT UP ROOF SYSTEM.
02	REMOVE AND DISPOSE OF EXISTING EQUIPMENT, CURB, AND DUCTWORK.
03	DEMO PORTION OF EXISTING WALL TO BELOW ROOF DECK 4'-0" WIDE ALIGNED WITH CENTER OF ROOF DRAIN. PATCH ROOF DECK. SEE DETAIL 5/A601.
04	PATCH CONCRETE DECK AS REQUIRED TO PROVIDE A COMPLIANT SURFACE AS REQUIRED FOR NEW SELF-ADHERED ROOFING SYSTEM.
125	PROVIDE NEW ROOF DRAIN AND STRAINER. EXTEND PIPING AS REQUIRED. DO NOT UTILIZE LINERS, ADAPTERS, OR ANY APPLIANCE THAT WILL RESULT IN REDUCED FLOW CAPACITY-SEE SPECS.
126	PROVIDE NEW OVERFLOW DRAIN. CORE DRILL/DEMO WALL AS REQUIRED, AND PROVIDE NEW THRU-WALL 4" SCHEDULE 40 PVC PIPE SLEEVE WITH SOLID BRONZE LAMB'S TONGUE- SEE SPECS.
200	PROVIDE NEW TPO ROOFING SYSTEM. OVER COVER BOARD, TAPERED POLYISO, 5.2" OF NEW FLAT POLYISOCYANURATE INSULATION BOARD, MECHANICALLY FASTEN BOTTOM LAYER OF POLYISO TO EXISTING STEEL DECK, FULLY ADHERE SUBSEQUENT LAYERS WITH LOW RISE FOAM.
201	EXISTING HVAC EQUIPMENT TO BE REINSTALLED FOLLOWING CONSTRUCTION ON NEW EQUIPMENT SUPPORT RAILS (AS REQUIRED) AND ROOFING SYSTEM. LINESETS, CONDENSATE DRAINS, CONDUIT ETC. TO BE REINSTALLED TO MATCH EXISTING LAYOUT. INSTALL SUPPORTS WHERE NECESSARY TO AVOID CONTACT WITH MEMBRANE.
202	ROVIDE NEW TPO ROOFING SYSTEM, OVER NEW TAPERED POLYISOCYANURATE INSULATION BOARD (1/8":12" SLOPE), FULLY ADHERE TO EXISTING CONCRETE DECK.
203	EXISTING HVAC EQUIPMENT TO BE REINSTALLED FOLLOWING CONSTRUCTION ON NEW EQUIPMENT CURBS (AS REQUIRED) AND ROOFING SYSTEM.
300	APPROXIMATE SIZE OF DETERIORATED ROOF. PROVIDE REPAIRS TO EXISTING ROOF ASSEMBLY. REPLACE EXISTING STEEL DECK, POLYISO, GYPSUM COVER BOARD, TPO MEMBRANE WITH NEW TO MATCH EXISTING. ENSURE POSITIVE DRAINAGE, MATCH EXISTING PROFILE. REPLACE MEMBRANE UP PARAPET AND ADJACENT WALL. REPLACE TERMINATIONS AND FLASHINGS WITH NEW TO MATCH EXISTING.

HAZARDOUS MATERIAL NOTE:

THE FOLLOWING MATERIAL HAS TESTED POSITIVE FOR ABSESTOS CONTAINING ROOF MATERIAL (ACRM). THIS MATERIAL SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL, AND LOCAL ABSESTOS RULES AND REGULATIONS INCLUDING O.S.H.A. ABSESTOS STANDARDS AND N.E.S.H.A.P. CFR - TITLE 40 PART 61 - APPENDIX A TO SUBPART M INTERPRETIVE RULE GOVERNING ROOF REMOVAL OPERATIONS.

WALL FLASHING AT ROOF AREA 'C' - APPROXIMATELY 80 LINEAR FEET.

REMOVAL OF ACRM COMPLIES WITH TENNESSEE SMALL-SCALE-SHORT-DURATION MAINTENANCE ACTIVITY.

DEMOLITION NOTE:

CONTRACTOR SHALL REMOVE ONLY THE PORTION OF ROOF SYSTEM THEY ARE ABLE TO BRING BACK TO A WATERPROOF CONDITION BEFORE LEAVING THE PROJECT SITE. AT NO TIME SHALL THE BUILDING BE LEFT IN A CONDITION VULNERABLE TO WATER INTRUSION.

KEY LEGEND

E.F.	EXISTING EXHAUST FAN
RD	EXISTING ROOF DRAIN
VTR	VENT THROUGH ROOF
FL	FLUE THROUGH ROOF
HVAC	ROOFTOP HVAC EQUIPMENT
CRICKETS	CRICKETS - 1/4":12" UON
SLOPE	DIRECTION OF SLOPE - 1/8":12" UON
HVAC ABOVE ROOF	HVAC ABOVE ROOF
NEW WALK PADS	NEW WALK PADS - SEE SPECS
ABANDONED EQUIP. PEDESTALS	ABANDONED EQUIP. PEDESTALS



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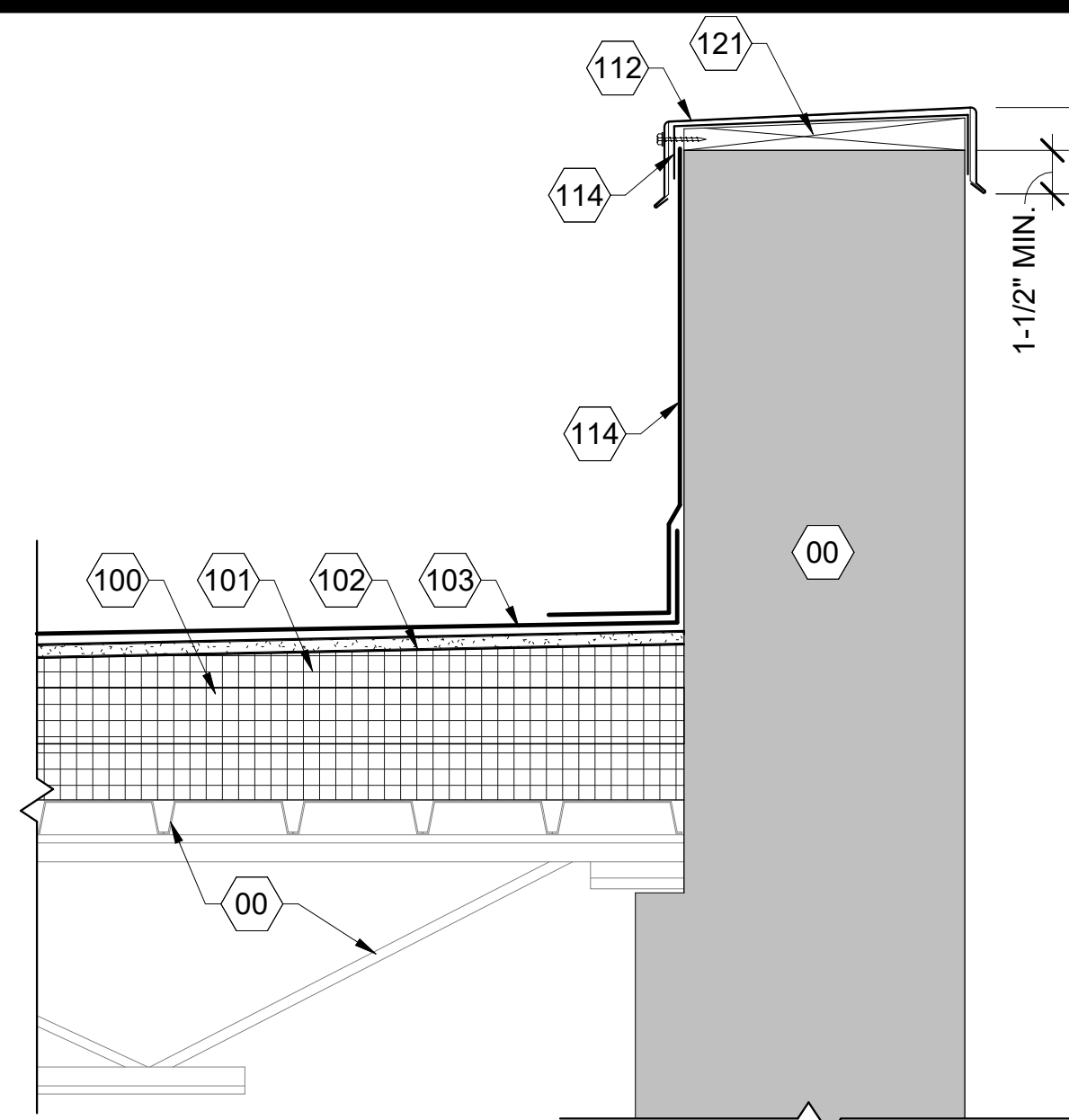
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ROOF PLAN

A-101

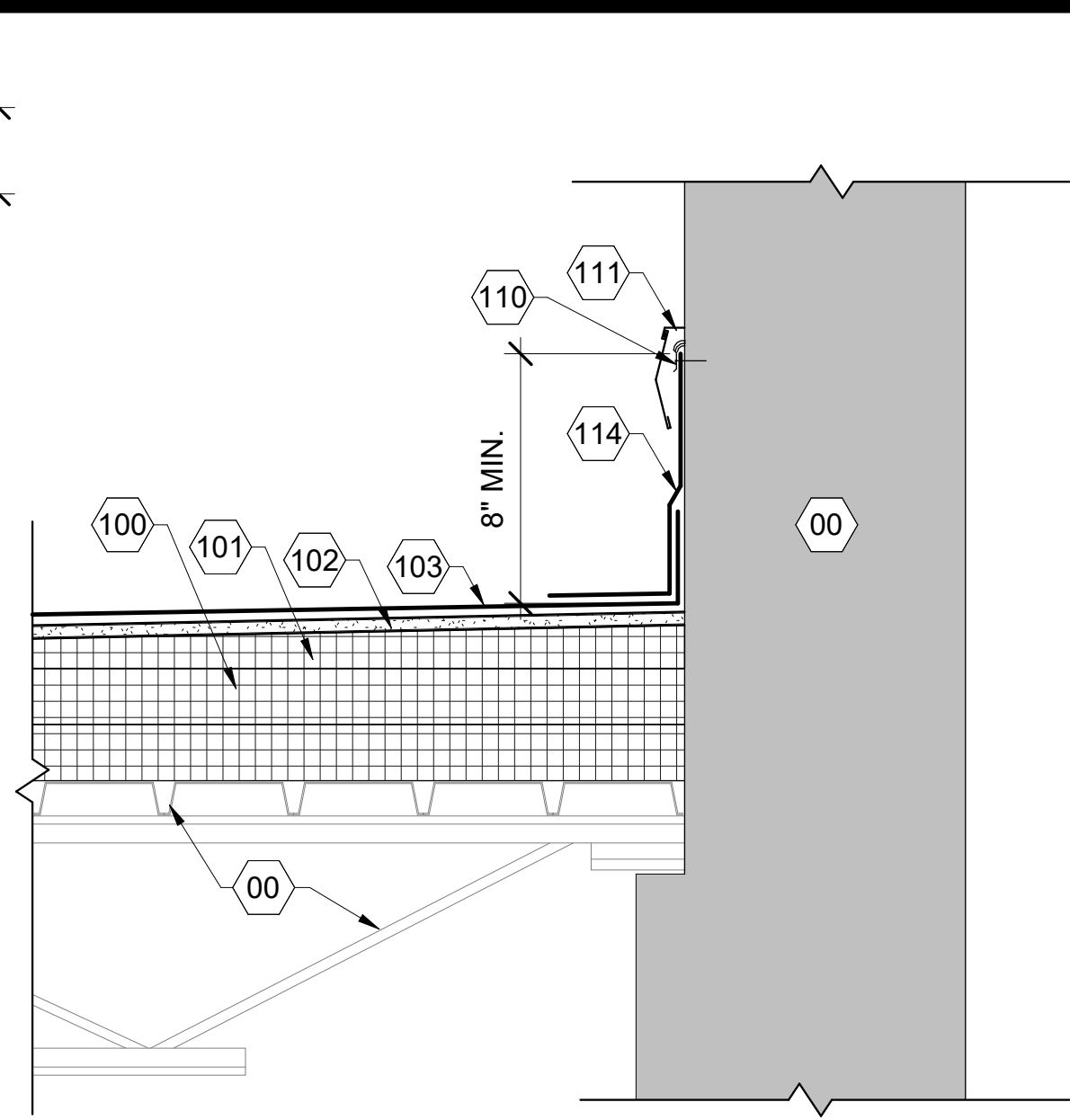


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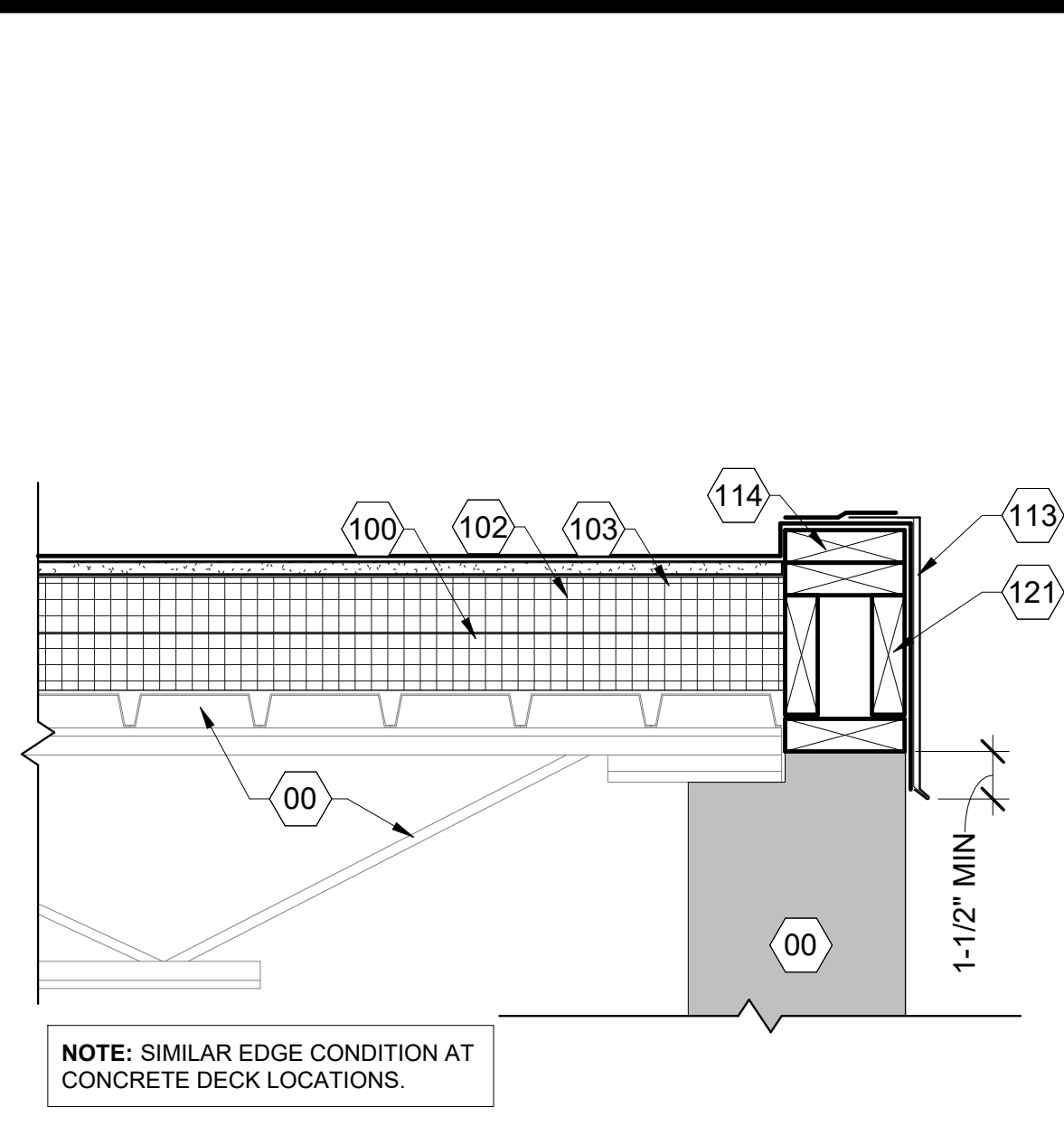
1 PARAPET DETAIL

A-601
 SCALE: 1 1/2" = 1'-0"



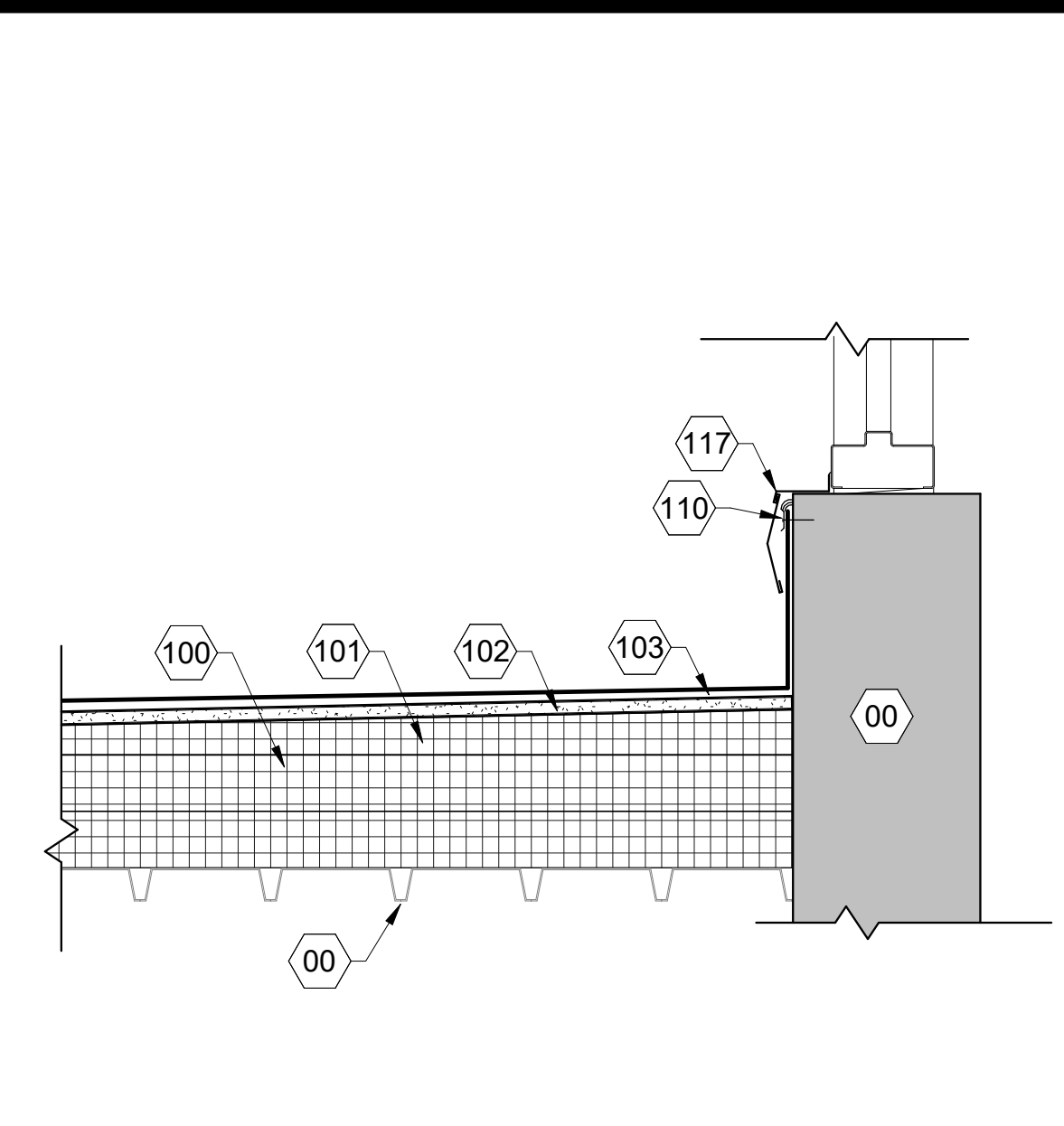
2 TERMINATION DETAIL

A-601
 SCALE: 1 1/2" = 1'-0"



3 ROOF EDGE DETAIL

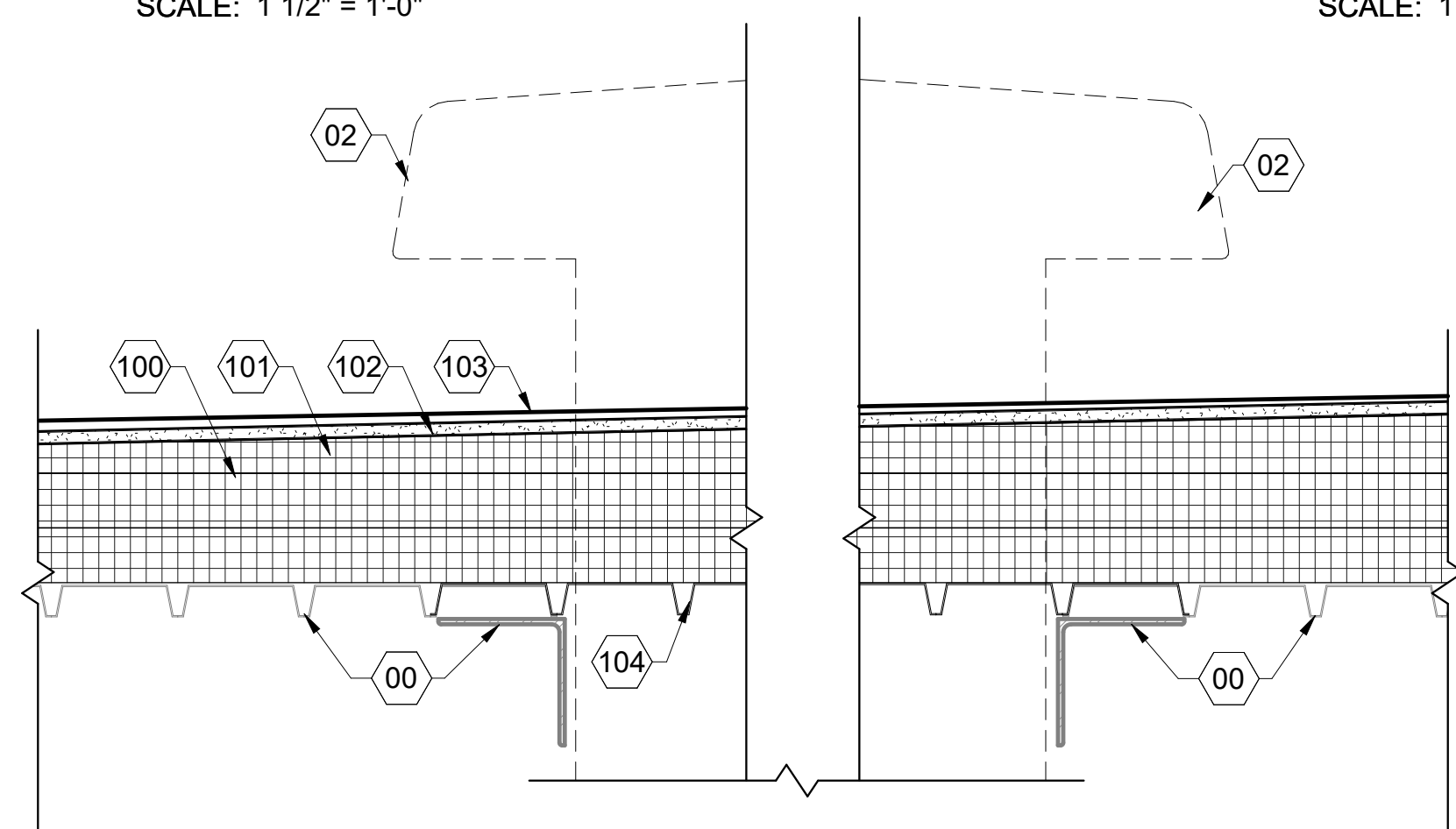
A-601
 SCALE: 1 1/2" = 1'-0"



4 DOOR SILL DETAIL

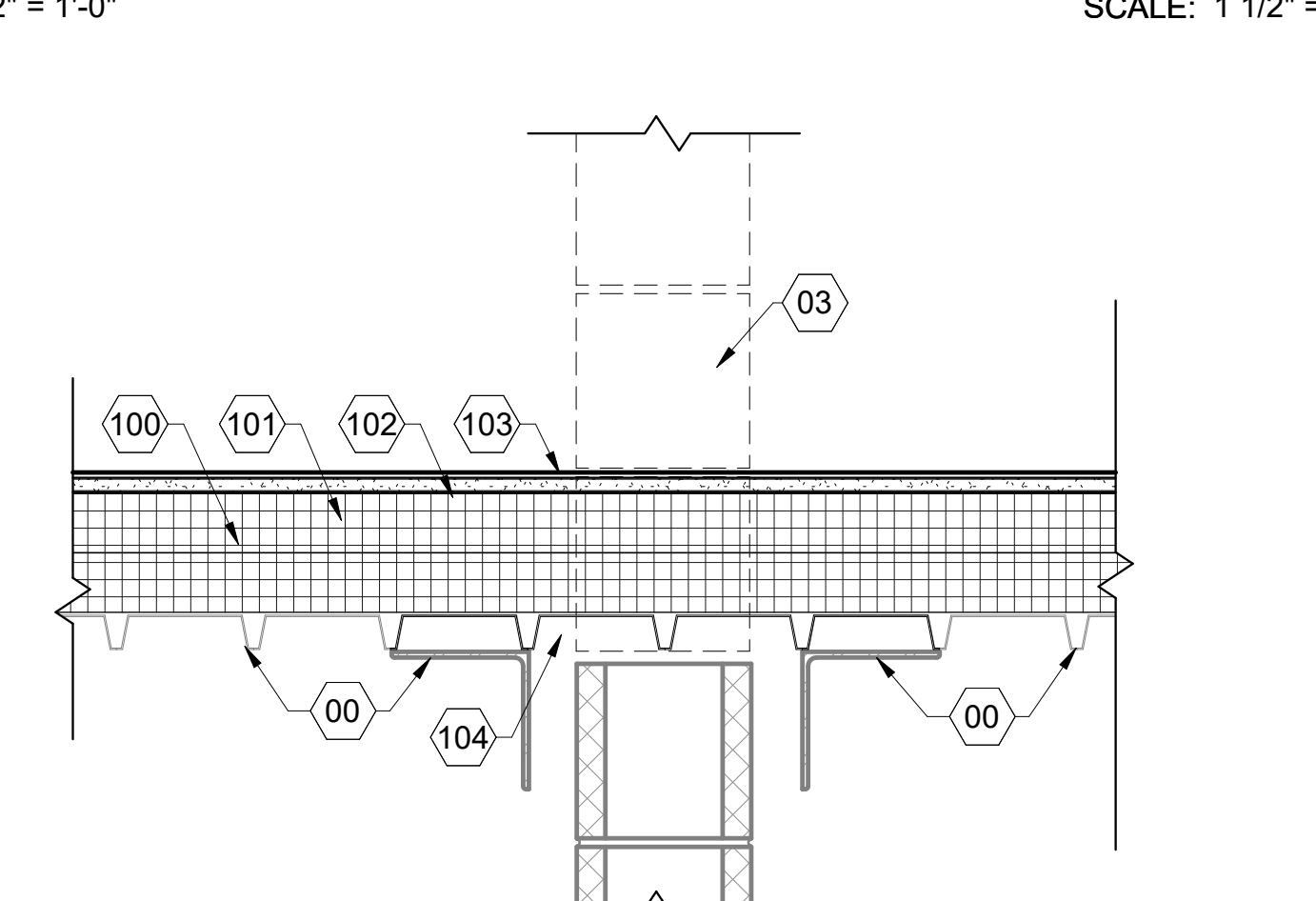
A-601
 SCALE: 1 1/2" = 1'-0"

NOTE: SIMILAR EDGE CONDITION AT CONCRETE DECK LOCATIONS.



5 PENTHOUSE ROOF DECK INFILL DETAIL

A-601
 SCALE: 1 1/2" = 1'-0"

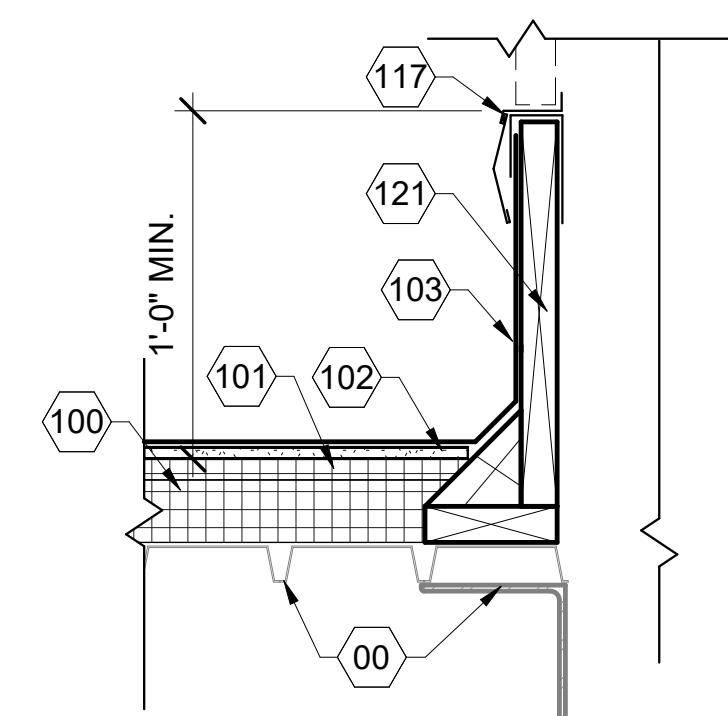


6 WALL DEMO/ ROOF INFILL DETAIL

A-601
 SCALE: 1 1/2" = 1'-0"

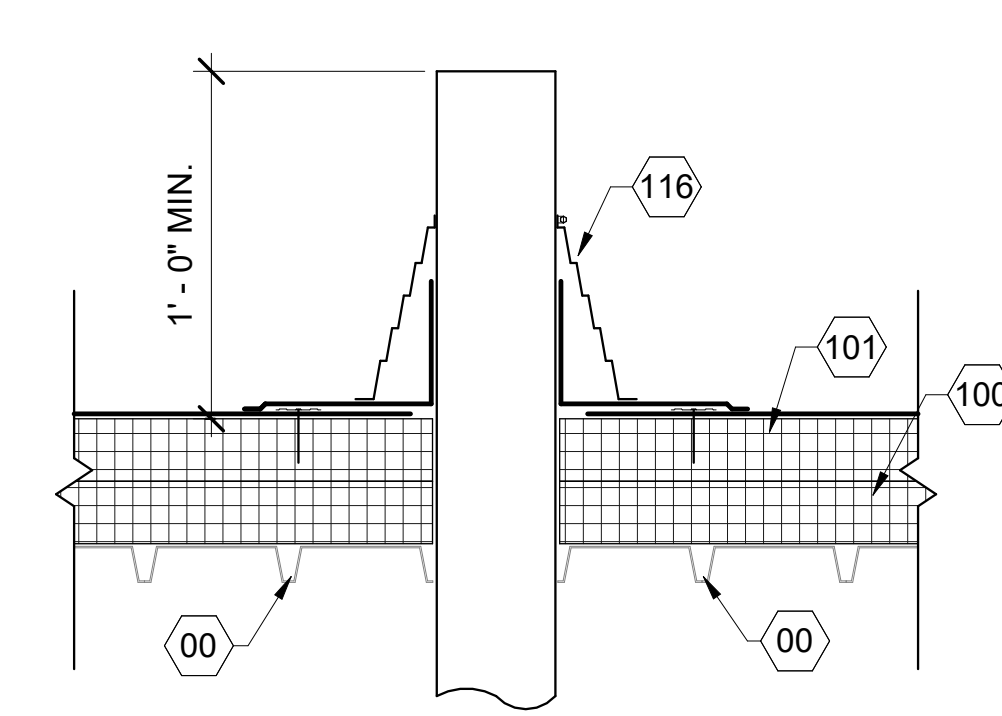
NOTE: ALL CURBS TO BE EXTENDED AS NECESSARY TO MEET 1'-0" MIN. REQUIRED HEIGHT ABOVE ROOF.

NOTE: ALL PIPES TO BE EXTENDED AS NECESSARY TO MEET 1'-0" MIN. REQUIRED HEIGHT ABOVE ROOF.



7 WOOD CURB DETAIL

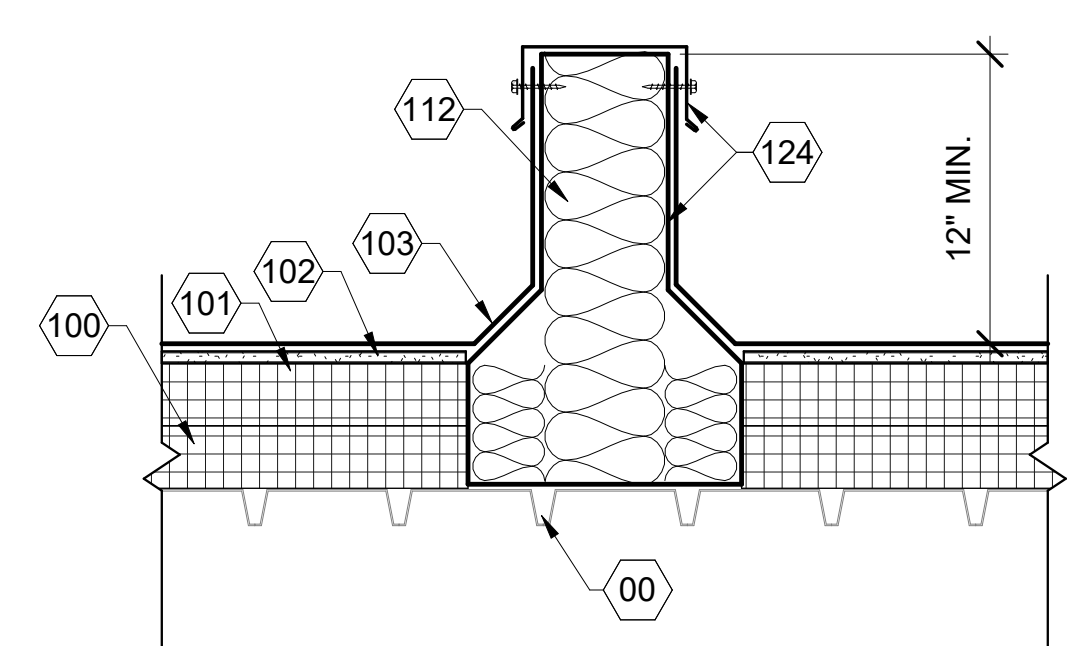
A-601
 SCALE: 1 1/2" = 1'-0"



8 PIPE PENETRATION DETAIL

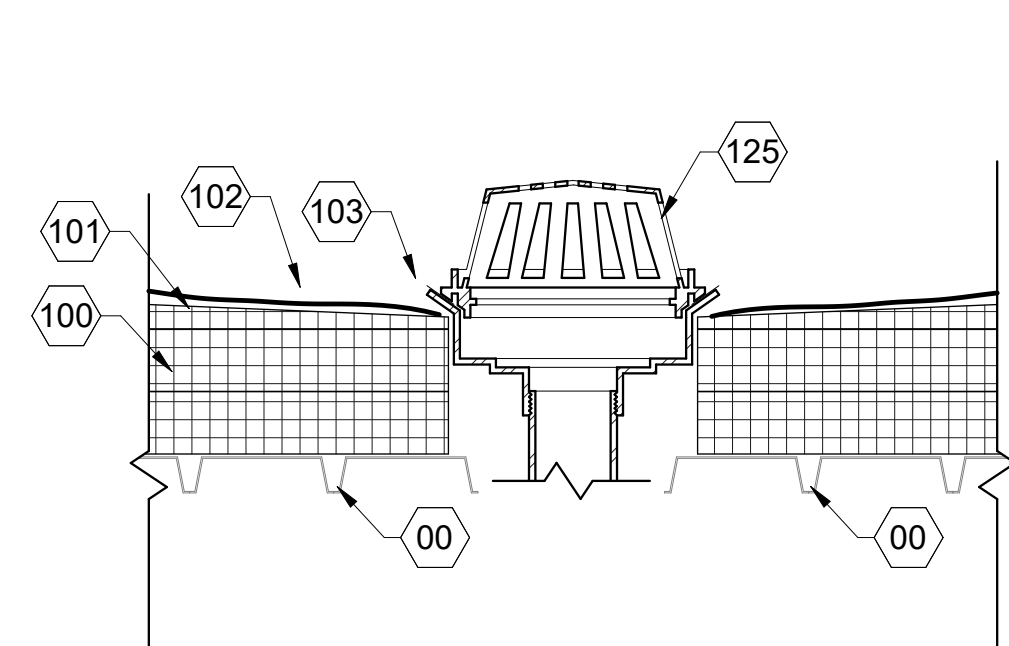
A-601
 SCALE: 1 1/2" = 1'-0"

NOTE: ALL WOOD SLEEPERS TO BE REPLACED WITH PREMANUFACTURED RAIL-TYPE EQUIPMENT SUPPORTS. MEET 1'-0" MIN. REQUIRED HEIGHT ABOVE ROOF.



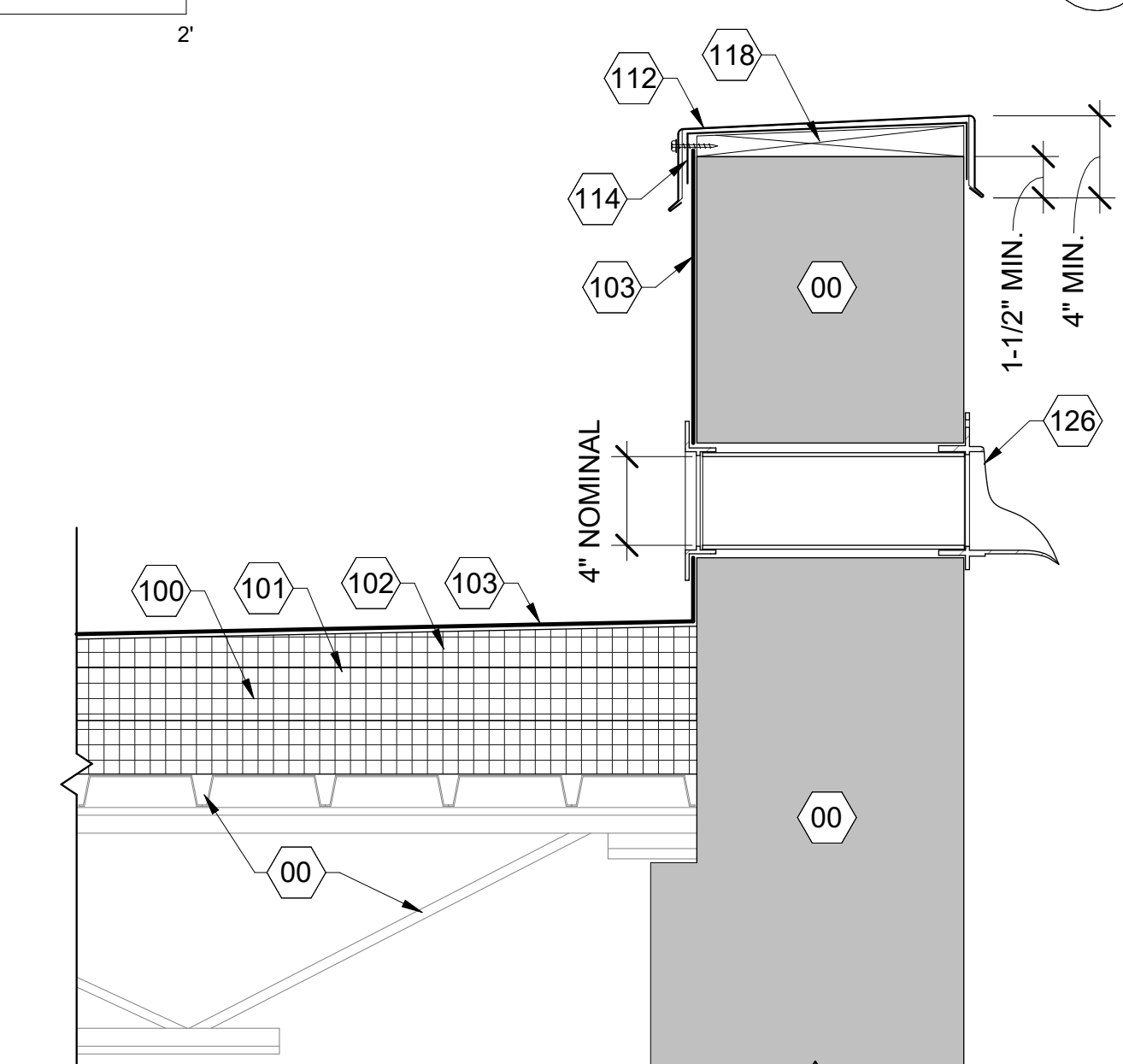
9 HVAC SUPPORT RAIL DETAIL

A-601
 SCALE: 1 1/2" = 1'-0"



10 ROOF DRAIN DETAIL

A-601
 SCALE: 1 1/2" = 1'-0"



11 OVERFLOW DETAIL

A-601
 SCALE: 1 1/2" = 1'-0"

KEYNOTE LEGEND

MARK	KEYNOTE
00	EXISTING CONSTRUCTION TO REMAIN.
02	REMOVE AND DISPOSE OF EXISTING EQUIPMENT, CURB, AND DUCTWORK.
03	DEMO PORTION OF EXISTING WALL TO BELOW ROOF DECK 4'-0" WIDE ALIGNED WITH CENTER OF ROOF DRAIN. PATCH ROOF DECK, SEE DETAIL 5/A601.
100	PROVIDE NEW POLYISOCYANURATE INSULATION BOARD. TWO LAYERS OF 2.6", HORIZONTALLY AND VERTICALLY STAGGERED JOINTS.
101	PROVIDE NEW POLYISOCYANURATE INSULATION BOARD. 1/8":12" SLOPE AT FIELDS, 1/4":12" SLOPE AT CRICKETS. 1/2" MIN. THICKNESS.
102	PROVIDE NEW 5/8" GLASS MAT FACED GYPSUM COVER BOARD. -SEE SPECS.
103	PROVIDE NEW 60 MIL TPO MEMBRANE. -SEE SPECS.
104	PROVIDE NEW METAL DECK TO INFILL OPENING. MATCH EXISTING ADJACENT PROFILE AND GAUGE.
110	PROVIDE NEW TERMINATION BAR AND CONTINUOUS SEALNT AT TOP, JOINTS, AND AT EACH FASTENER.
111	PROVIDE NEW REGLET-CUT TWO-PIECE STAINLESS STEEL COUNTERFLASHING.
112	PROVIDE NEW COLOR-COATED METAL PARAPET COPING CAP FLASHING.
113	PROVIDE NEW COLOR-COATED DRIPEDGE METAL FLASHING.
114	PROVIDE NEW WELDABLE MEMBRANE FLASHING STRIP.
116	PROVIDE NEW PRE-FORMED BOOT FLASHING WITH STAINLESS STEEL CLAMPING RING. PROVIDE CONTINUOUS SEALANT AT TOP OF BOOT.
117	PROVIDE NEW SURFACE MOUNTED TURNED-LEG TWO-PIECE STAINLESS STEEL COUNTERFLASHING.
118	PROVIDE TAPERED WOOD BLOCKING.
121	PROVIDE NEW WOOD BLOCKING AS REQUIRED.
124	PROVIDE NEW PRE-MANUFACTURED RAISED & CANTED RAIL-TYPE HVAC EQUIPMENT SUPPORT. 12" MIN. HEIGHT ABOVE ROOF SYSTEM.
125	PROVIDE NEW ROOF DRAIN AND STRAINER, EXTEND PIPING AS REQUIRED. DO NOT UTILIZE LINERS, ADAPTERS, OR ANY APPLIANCE THAT WILL RESULT IN REDUCED FLOW CAPACITY. SEE SPECS.
126	PROVIDE NEW OVERFLOW DRAIN. CORE DRILL/DEMO WALL AS REQUIRED, AND PROVIDE NEW THRU-WALL 4" SCHEDULE 40 PVC PIPE SLEEVE WITH SOLID BRONZE LAMB'S TONGUE. SEE SPECS.

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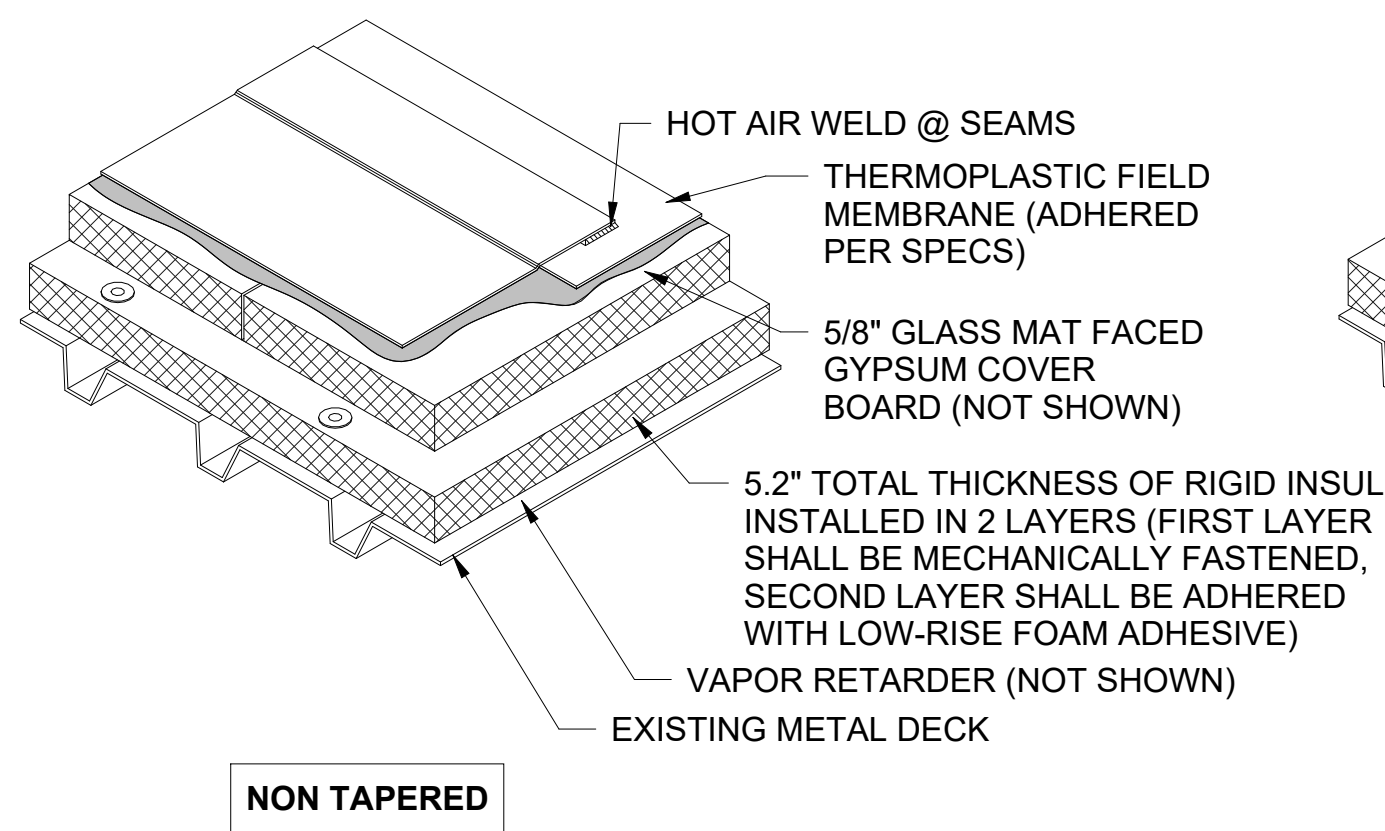
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ROOF DETAILS

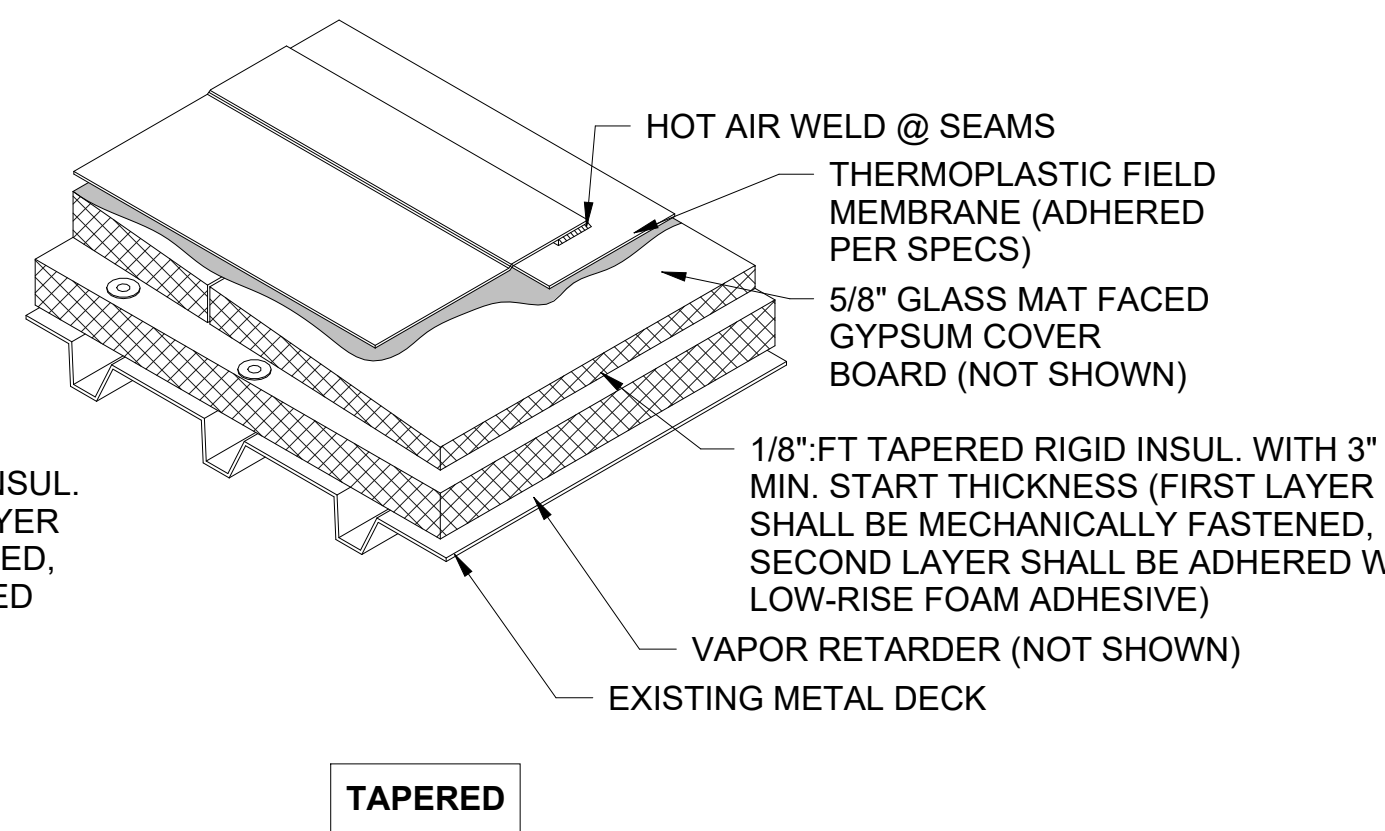
A-601



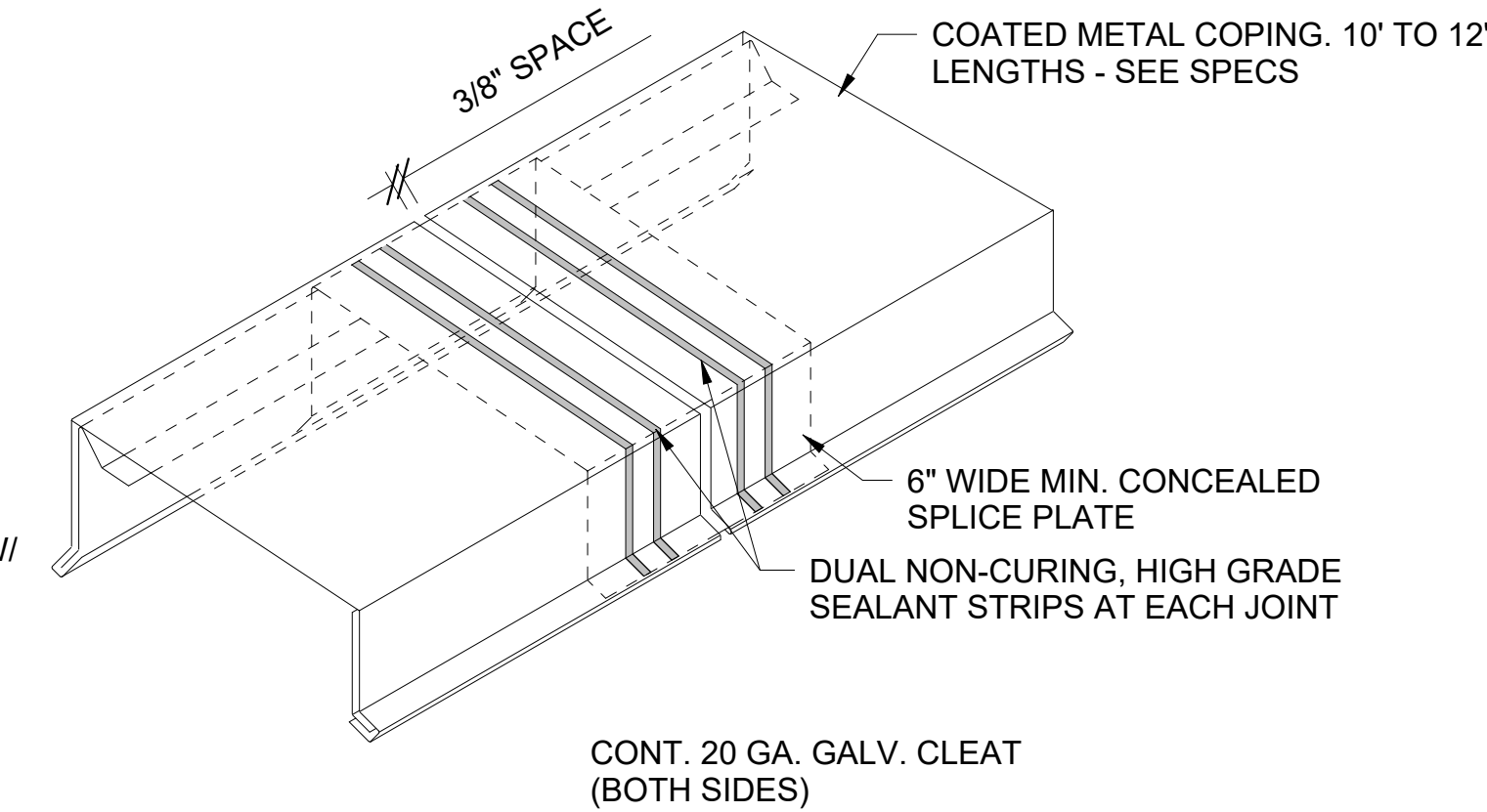
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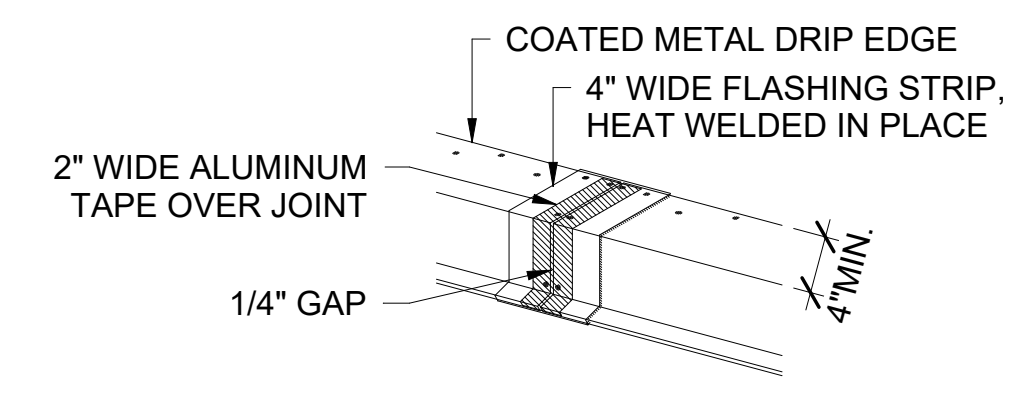
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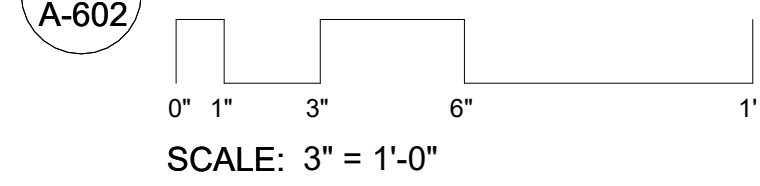


CONT. 20 GA. GALV. CLEAT (BOTH SIDES)

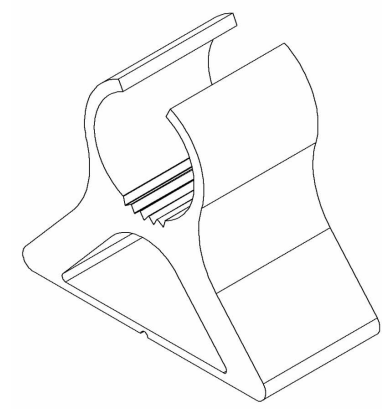
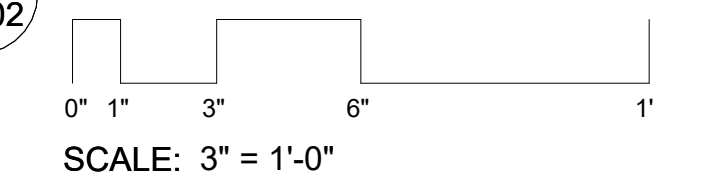
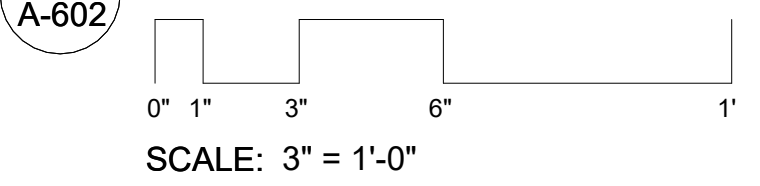


3 TYP. DRIP EDGE JOINT DETAIL

1 TYP. MEMBRANE ROOF SYSTEMS

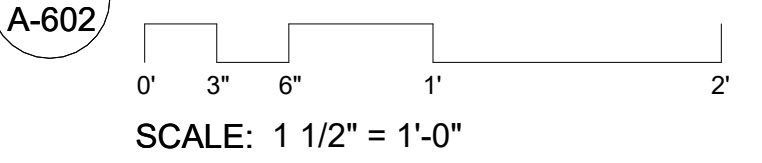


2 TYP. PARAPET CAP JOINT DETAIL



NOTE: INSTALL PER MANUFACTURER'S RECOMMENDED SPACING, NOT TO EXCEED 8 FOOT CENTERS OR 150 LBS. ENSURE POSITIVE DRAINAGE OF CONDENSATE LINES TO DRAINS.

4 TYP. PIPE SUPPORT DETAIL



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