

**DATE:** April 22, 2025

HURST-ROSCHE, INC.  
No. 5 Bank Square  
East St. Louis, Illinois 62203  
Phone: 618.398.0890

**TO:** PROSPECTIVE BIDDERS

**SUBJECT:** ADDENDUM NO. 1 TO THE BIDDING DOCUMENTS FOR

RAD Renovation Silver Creek Manor  
Apt 5: Lebanon and O'Fallon  
St. Clair County Housing Authority  
St. Clair County, Illinois  
HR# 280-0385

This addendum forms a part of the bidding and contract documents and modifies the original bidding documents dated April 14, 2024. Acknowledge receipt of this addendum in the space provided on the Bid Form. **FAILURE TO DO SO MAY SUBJECT BIDDER TO DISQUALIFICATION.**

\*\*\*\*\*

Upon receipt of this addendum, please sign below and email to Hurst-Rosche, Inc. at [jvandeveer@hurst-rosche.com](mailto:jvandeveer@hurst-rosche.com) within 24 hours of receipt.

<b>RECEIVED BY:</b>	_____
	Company Name/Authorized Representative
<b>DATE:</b>	_____

**DRAWINGS**

- A. Reissued Drawing Set Dated 4/22/2025:
  - 1. **REPLACE** all drawing sheets with the attached drawing set dated 4/22/2024. Note clouded revisions and added drawings sheets indicated in the Drawing Index on Sheet G-102.

**SPECIFICATIONS**

**A. INVITATION FOR BIDS:**

- 1. **ADD** the following to the JOB SITE VISITATION paragraph: "Site Visitations will be conducted on **Friday 4/25 9:00 AM – 11:00 AM** at the following addresses:

**Lebanon:**

- 501 Plum Apt. C (Vacant)-Starting Location
- 503 Plum Apt. D (Vacant)
- 406 East St. Louis
- 117 East Randle

**O'Fallon:**

- 808 East Jefferson St. Apt. B (Vacant)
- 806 East Jefferson St. Apt. C
- 301 Estate Dr. Apt. C

**B. SECTION 08 15 73 Vinyl Sliding Glass Doors:**

- 1. Paragraph 2.1: **ADD** Crystal Window & Door / Series 1600 as an approved manufacturer/product.

This addendum consists of (25) pages including one attachment.

**C. SECTION 08 71 00 Door Hardware:**

**1. ADD** the following paragraph 2.2 L:

L. Mail Slot: Front Entry Only

1. Magazine size: Front plate, sleeve/liner, and interior hood; steel or brass with satin chrome finish.

a. Manufacturers:

- 1) Trimco – 2085/2091.
- 2) Approved Equal.

**2. REVISE** Hardware Schedule, Paragraph 3.4 A. 3. Group 3 Exterior Entry, as follows:

a. **REVISE** item 6) to read as follows: 1 – Viewer (Provide 2 - viewers at the 3 ADA Units only; Lebanon 501A & B, and O'Fallon 808A).

b. **ADD** item 9) to read as follows: 1 – Mail Slot (Lebanon Bldg Types 'A' and 'D' only – Qty. 12 Doors).

This addendum **DOES NOT** alter the previously published bid date of **Wednesday, May 7, 2025, 10:00 am** prevailing time, at SCCHA Central Office Building, 1790 South 74<sup>th</sup> St., Belleville, IL 62223.

Respectfully submitted,

HURST-ROSCHE, INC.



Jason Vandever, CDT

# RAD RENOVATION SILVER CREEK MANOR AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON ST. CLAIR COUNTY HOUSING AUTHORITY ST. CLAIR COUNTY, ILLINOIS

IFB-25-B001

ARCHITECT / ENGINEER :

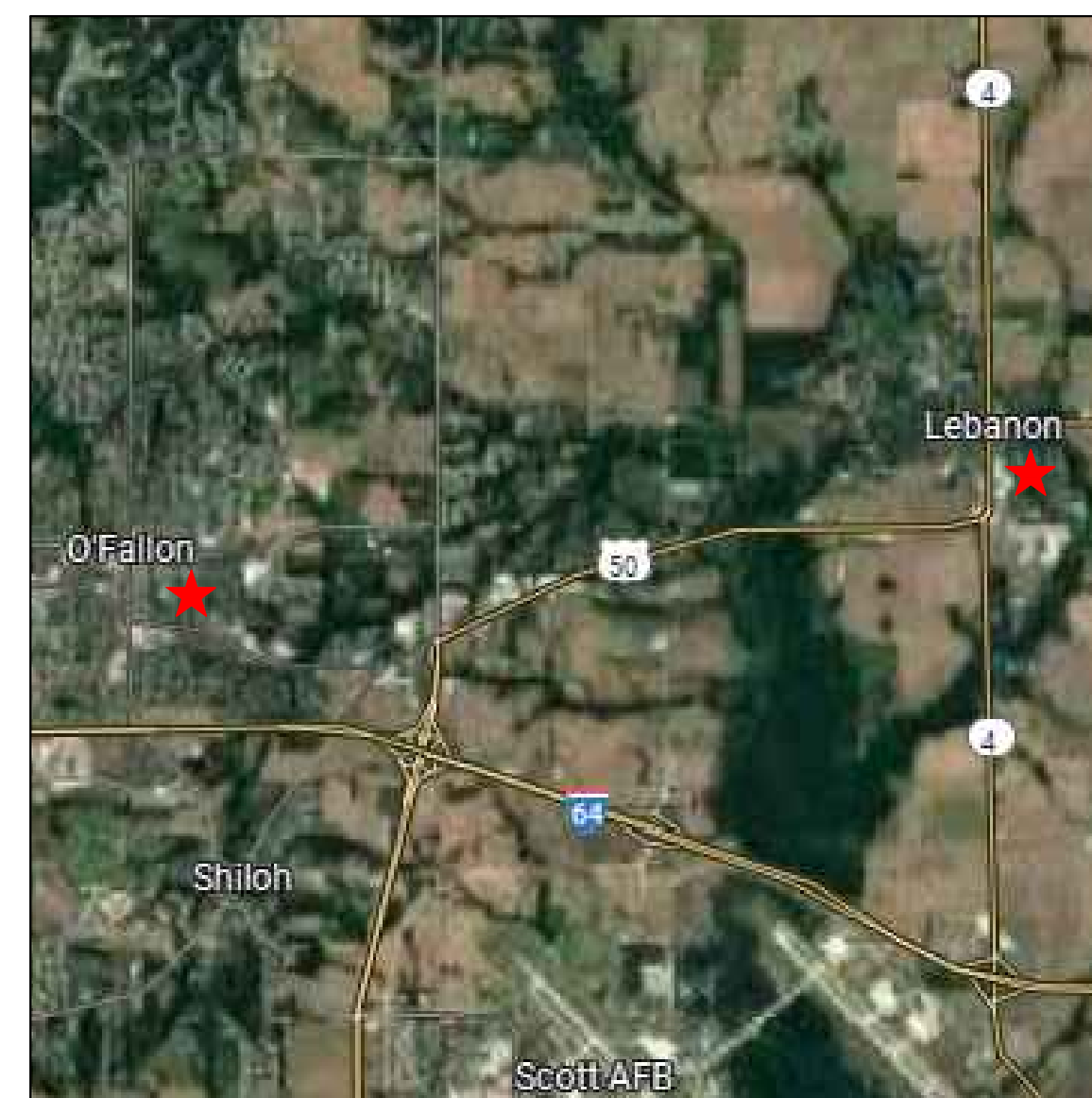


**Hurst-Rosche, Inc.**  
PROFESSIONAL DESIGN NUMBER: 184-000298

NO. 5 BANK SQUARE  
EAST ST. LOUIS, IL  
PH: 618.398.0890

[www.hurst-rosche.com](http://www.hurst-rosche.com)

HILLSBORO, IL  
MARION, IL  
SPRINGFIELD, IL  
ARNOLD, MO  
NASHVILLE, TN



AREA LOCATION MAP



**ISSUED FOR BID**

1 4/22/25 ADDENDUM - 1

DATE:  
APRIL 14, 2025

HR# 280-0385

### ABBREVIATIONS

ABV	ABOVE	EF	EACH FACE	JT	JOINT	RAD	RADIUS
AFF	ABOVE FINISH FLOOR	ELEC	ELECTRIC (AL)	JF	JOINT FILLER	RL	RAIL (ING)
ACC	ACCESS	EP	ELECTRICAL PANELBOARD	J	JOIST	RE	REFERENCE
AP	ACCESS PANEL	EL	ELEVATION			RFL	REFLECT (ED), (IVE), (OR)
AC	ACOUSTICAL	ELEV	ELEVATOR			REINF	REINFORCE (D), (ING)
ACT	ACOUSTICAL CEILING TILE	ENC	ENCLOSE (URE)	KPL	KICKPLATE	REM	REMOVE
ADH	ADHESIVE	EQ	EQUAL			RES	RESILIENT
ADJ	ADJACENT	EOP	EQUIPMENT	LBL	LABEL	RET	RETURN
ADJT	ADJUSTABLE	EST	ESTIMATE	LAD	LADDER	RA	RETURN AIR
ALT	ALTERNATE, ALTERNATIVE	EXH	EXHAUST	LAM	LAMINATE (D)	RVS	REVERSE (SIDE)
AL	ALUMINUM	EXG	EXISTING	LAV	LAVATORY	REV	REVISION (S), REVISED
ANC	ANCHOR, ANCHORAGE	EJ	EXPANSION JOINT	LH	LEFT HAND	RH	RIGHT HAND
AB	ANCHOR BOLT	EXP	EXPOSED	L	LENGTH	RFG	ROOFING
ARCH	ARCHITECT (URAL)	EXT	EXTERIOR	LT	LIGHT	RM	ROOM
AD	AREA DRAIN	EWC	ELECTRIC WATER COOLER	LW	LIGHTWEIGHT	RO	ROUGH OPENING
ASPH	ASPHALT			LF	LINEAL FEET	RB	RUBBER BASE
AUTO	AUTOMATIC			LTL	LINTEL		
		FOC	FACE OF CONCRETE	LL	LIVE LOAD		
		FOF	FACE OF FINISH	LLR	LOW POINT		
		FOM	FACE OF MASONRY	LVR	LOUVER		
		FOS	FACE OF STUDS	LPT	LOW POINT		
		FAS	FASTEN, FASTENER			SCH	SCHEDULE
		FBD	FIBERBOARD			S	SEALER
		FGL	FIBERGLASS	MI	MALLEABLE IRON	SEC	SECTION
		FIN	FINISH (ED)	MFR	MANUFACTURE (ER)	SHTG	SHEATHING
		FFE	FINISHED FLOOR ELEVATION	MAS	MASONRY	SHT	SHEET
		FFL	FINISHED FLOOR LINE	MO	MASONRY OPENING	SH	SHELF, SHELVING
		FA	FIRE ALARM	MAX	MAXIMUM	SIM	SIMILAR
		FE	FIRE EXTINGUISHER	MECH	MECHANICAL	SL	SLEEVE
		FEC	FIRE EXTINGUISHER CABINET	MED	MEDIUM	SC	SOLID CORE
		FPL	FIREPLACE	MBR	MEMBER	SPL	SPECIAL
		FP	FIREPROOF	MMB	MEMBRANE	SPEC	SPECIFICATIONS
		FRT	FIRE-RETARDANT	MTL	METAL	SQ	SQUARE
		FLG	FLASHING	MWK	MILLWORK	SF	SQUARE FOOT
		FLX	FLEXIBLE	MIN	MINIMUM	SY	SQUARE YARD
		FLR	FLOOR (ING)	MISC	MISCELLANEOUS	S&V	STAINED AND VARNISHED
		FD	FLOOR DRAIN	MLD	MOLDING, MOULDING	SST	STAINLESS STEEL
		FPL	FLOOR PLATE	MT	MOUNT (ED), (ING)	STD	STANDARD
		FLUR	FLUORESCENT	MOV	MOVABLE	STA	STATION
		FJT	FLUSH JOINT	MULL	MULLION	STL	STEEL
		FTG	FOOTING			STO	STORAGE
		FND	FOUNDATION	NAT	NATURAL	STRUCT	STRUCTURAL
		FR	FRAME (D), (ING)	NRC	NOISE REDUCTION COEFFICIENT	SYM	SYMMETRY (ICAL)
		FRA	FRESH AIR	NOM	NOMINAL	SYS	SYSTEM
		FS	FULL SIZE	NIC	NOT IN CONTRACT		
		FBO	FURNISHED BY OTHERS	NTS	NOT TO SCALE	TEL	TELEPHONE
		FUR	FURRED (ING)			TV	TELEVISION
		FUT	FUTURE	OC	ON CENTER	THK	THICK (NESS)
				OPG	OPENING	THR	THRESHOLD
		GA	GAGE, GAUGE	OPP	OPPOSITE	TOL	TOLERANCE
		GALV	GALVANIZED	OD	OUTSIDE DIAMETER	T&G	TONGUE AND GROOVE
		GC	GENERAL CONTRACT (OR)	OA	OVERALL	T.STL	TOP OF STEEL
		GLF	GLASS FIBER	OH	OVERHEAD	TSL	TOP OF SLAB
		GB	GRAB BAR			TFTG	TOP OF FOOTING
		GR	GRADE, GRADING	P	PAINT (ED)	Typ	TYPICAL
		GVL	GRAVEL	PNL	PANEL		
		GRT	GROUT	PAR	PARALLEL	UC	UNDERCUT
		GYP BD	GYP SUM BOARD	PK	PARKING	UNF	UNFINISHED
				PTN	PARTITION		
		HDW	HARDWARE	PERF	PERFORATE (D)	VJ	V-JOINT (ED)
		HWD	HARDWOOD	PERI	PERIMETER	VR	VAPOR RETARDER
		HJT	HEAD JOINT	PLAS	PLASTER	VAR	VARNISH
		HDR	HEADER	PLAM	PLASTIC LAMINATE	VNR	VENEER
		HTG	HEATING	PL	PLATE	VERT	VERTICAL
		HD	HEAVY DUTY	PWD	PLYWOOD	VWC	VINYL WALL COVERING
		HT	HEIGHT	PT	POINT		
		HC	HOLLOW CORE	PORC.	PORCELAIN		
		HM	HOLLOW METAL	PVC	POLYVINYL CHLORIDE	WSCT	WAINSCOT
		HORIZ	HORIZONTAL	PCF	POUNDS PER CUBIC FOOT	WC	WATER CLOSET
		HB	HOSE BIB	PLF	POUNDS PER LINEAL FOOT	WP	WATERPROOFING
		HWH	HOT WATER HEATER	PSF	POUNDS PER SQUARE FOOT	WR	WATER REPELLENT
		HSS	STRUCTURAL TUBE	PSI	POUNDS PER SQUARE INCH	WS	WATERSTOP
				PFB	PREFABRICATE (D)	WWF	WELDED WIRE FABRIC
		IN	INCH	PFN	PREFINISHED	W	WIDTH, WIDE
		INCL	INCLUDING	PRF	PREFORMED	W/	WITH
		ID	INSIDE DIAMETER	PL	PROPERTY LINE	WDW	WINDOW
		IF	INSIDE FACE			W/O	WITHOUT
		INS	INSULATE (D), (ION)			WD	WOOD
		INT	INTERIOR			WB	WOOD BASE
						WPT	WORKING POINT

### DRAWING INDEX

SHEET No.	SHEET TITLE
G-101	COVER SHEET
G-102	DRAWING INDEX, LEGEND OF SYMBOLS, GENERAL NOTES, ABBREVIATIONS
C-101	IL30-14 LEBANON SITE PLANS
C-102	IL30-24 O'FALLON SITE PLAN
A101	IL30-14 LEBANON BUILDING TYPE "A" PLANS AND ELEVATIONS
A101.1	IL30-14 LEBANON BUILDING TYPE "A" KITCHEN & BATH PLANS & ELEVATIONS
A102	IL30-24 LEBANON BUILDING TYPE "B" PLANS AND ELEVATIONS
A102.1	IL30-24 LEBANON BUILDING TYPE "B" KITCHEN & BATH PLANS & ELEVATIONS
A103	IL30-14 LEBANON BUILDING TYPE "C" PLANS AND ELEVATIONS
A103.1	IL30-14 LEBANON BUILDING TYPE "C" KITCHEN & BATH PLANS & ELEVATIONS
A103.2	IL30-14 LEBANON BUILDING TYPE "D" PLANS AND ELEVATIONS
A103.3	IL30-14 LEBANON BUILDING TYPE "D" KITCHEN & BATH PLANS & ELEVATIONS
A104	IL30-24 O'FALLON BUILDING TYPE "A" PLANS AND ELEVATIONS
A104.1	IL30-24 O'FALLON BUILDING TYPE "A" KITCHEN & BATH PLANS & ELEVATIONS
A105	IL30-24 O'FALLON BUILDING TYPE "B" PLANS AND ELEVATIONS
A105.1	IL30-24 O'FALLON BUILDING TYPE "B" KITCHEN PLANS & ELEVATIONS
A105.2	IL30-24 O'FALLON BUILDING TYPE "B" BATH PLANS & ELEVATIONS
A106	IL30-24 O'FALLON BUILDING TYPE "C" PLANS & ELEVATIONS
A106.1	IL30-24 O'FALLON BUILDING TYPE "C" KITCHEN PLANS & ELEVATIONS
A106.2	IL30-24 O'FALLON BUILDING TYPE "C" BATH PLANS & ELEVATIONS
A301	IL30-14 LEBANON AND IL30-24 O'FALLON KITCHEN DETAILS
A302	IL30-14 LEBANON AND IL30-24 O'FALLON DOOR DETAILS
EP-001	IL30-14 LEBANON AND IL30-24 O'FALLON ELECTRICAL AND PLUMBING DETAILS

### GENERAL NOTES: (APPLY TO ALL WORK)

- CONSTRUCTION SCHEDULING: THE PHA SHALL TEMPORARILY RELOCATE TENANTS DURING CONSTRUCTION UTILIZING A MOVING COMPANY PROCURED BY THE PHA UNDER SEPARATE CONTRACT. EXISTING APPLIANCES (CLOTHES WASHERS AND DRYERS) SHALL REMAIN WITHIN THE UNITS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL TEMPORARILY RELOCATE APPLIANCES AS NECESSARY TO COMPLETE THE WORK AND REINSTALL PRIOR TO SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL COORDINATE WITH THE PHA MOVING COMPANY TO SCHEDULE THE TEMPORARY REMOVAL, STORAGE AND RETURN OF ALL RESIDENT OWNED PROPERTY WITHIN THE UNITS. TEMPORARY RELOCATION SHALL OCCUR ON THE MONDAY SCHEDULED FOR CONSTRUCTION START IN EACH UNIT.
  - THE CONTRACTOR SHALL HAVE ACCESS TO EACH UNIT FOR A PERIOD OF 12 CONSECUTIVE CALENDAR DAYS TO COMPLETE THE WORK. ALL WORK SHALL BE SUBSTANTIALLY COMPLETE BY THE END OF THE SCHEDULED TENANT RELOCATION ON THE SECOND FRIDAY FOLLOWING THE UNIT CONSTRUCTION START DATE.
  - SECURITY: THE PHA SHALL PROVIDE THE CONTRACTOR WITH CONSTRUCTION LOCKSET CORES FOR USE AT EXTERIOR UNIT ENTRY DOORS DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY REMOVAL OF EXISTING CORES AND INSTALLATION OF CONSTRUCTION CORES AT CONSTRUCTION START OF EACH UNIT AND REINSTALLATION OF EXISTING CORES AT SUBSTANTIAL COMPLETION OF EACH UNIT.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE PHA. LOCATE CONTRACTOR PARKING, CONSTRUCTION STAGING AND ONSITE STORAGE AS INDICATED BY THE PHA AND NOTIFY RESIDENTS A MINIMUM OF 48 HOURS PRIOR TO CONDUCTING WORK AT OCCUPIED BUILDINGS.
- PERMITS AND LICENSES OF A TEMPORARY NATURE NECESSARY FOR THE PROCESSION OF WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION LAYOUT AND STAKING. NEW WORK SHALL MATCH EXISTING ADJOINING CONSTRUCTION FOR A SMOOTH TRANSITION UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO EXISTING CONSTRUCTION AND SITE IMPROVEMENTS INCLUDING BUILDINGS, UTILITIES, LAWNS, LANDSCAPING, PARKING AREAS, CONCRETE SIDEWALKS, STOOPS, AND PATIOS TO REMAIN AND SHALL REPAIR DAMAGE CAUSED BY CONSTRUCTION / DEMOLITION AT NO ADDITIONAL COST TO THE OWNER. PROTECT EXISTING EXISTING CONSTRUCTION AS NECESSARY TO PREVENT DAMAGE.
- DIMENSIONS AND QUANTITIES NOTED ON DRAWINGS ARE APPROXIMATE AND ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND NEW DIMENSIONS AND ALL EXISTING CONDITIONS PRIOR TO BIDDING, FABRICATION, AND CONSTRUCTION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY THE ARCHITECT/ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE WORK.
- MAINTAINING DRAINAGE – IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN DRAINAGE FLOWS AT ALL TIMES DURING THE PERFORMANCE OF THE WORK. DAMAGE RESULTING FROM IMPROPER MAINTENANCE OF DRAINAGE SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PHA. COST OF MAINTAINING FLOWS IS INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND SECURITY OF THE BUILDINGS, MATERIALS, EQUIPMENT AND SUPPLIES RELATED TO THIS CONTRACT. CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN TEMPORARY BARRIERS, ENCLOSURES, AND FENCING AS NECESSARY TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION AREAS.
- CONTRACTOR SHALL REMOVE EXISTING CONSTRUCTION TO THE EXTENT SHOWN ON PLANS AND LEGALLY DISPOSE OF OFF-SITE. CONTRACTOR SHALL ALSO REMOVE AND DISPOSE OF ALL SURPLUS, UNSTABLE AND/OR UNSUITABLE MATERIALS RESULTING FROM CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL TAKE NOTE OF ALL EXISTING CONDITIONS AND BE PREPARED TO MOVE OR DISPOSE OF OBJECTS OR MATERIALS WITHIN THE LIMITS OF THE PROJECT AS NECESSARY TO COMPLETE THE WORK. SUCH WORK SHALL NOT BE CAUSE FOR ADDITIONAL COMPENSATION FOR A CHANGE IN THE SCOPE. CONTRACTOR SHALL CLEAN ALL UNITS FROM CONSTRUCTION WASTE AND DEBRIS PRIOR TO SUBSTANTIAL COMPLETION.

### LEGEND OF SYMBOLS



**Hurst-Rosche, Inc.**  
 PROFESSIONAL DESIGN NUMBER: 184-00298  
 1400 E. TREMONT STREET  
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 EAST ST. LOUIS, IL  
 MARION, IL  
 ARNOLD, MO  
 NASHVILLE, TN  
 SPRINGFIELD, IL

**SIGNATURE**  
 xx-xx-2025  
**DATE** 11-30-2026  
**LICENSE EXPIRES**

**RAD RENOVATION SILVER CREEK MANOR  
 AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
 ST. CLAIR COUNTY HOUSING AUTHORITY  
 ST. CLAIR COUNTY, ILLINOIS**

MK.	DATE	DESCRIPTION
1	4/22/25	ADDENDUM - 1

DATE: 04-14-2025  
 PROJECT NO: 280-0385  
 DESIGN: JLW DRAWN: JSM CHECK: BGE

**DRAWING INDEX,  
 LEGEND OF SYMBOLS,  
 GENERAL NOTES, AND  
 ABBREVIATIONS**

# G-102



Hurst-Rosche, Inc.  
PROFESSIONAL DESIGN NUMBER: 184-00298

1400 E. TREMONT STREET  
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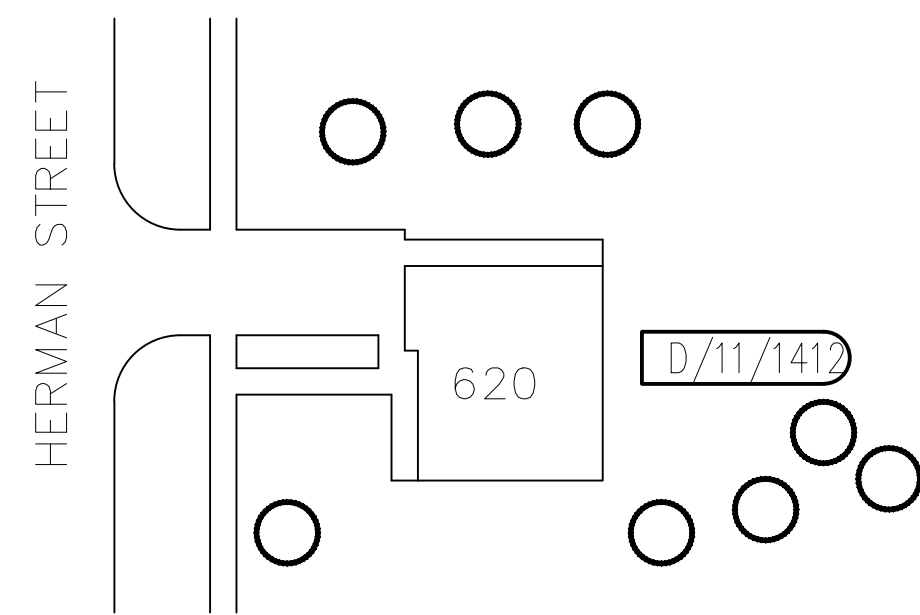
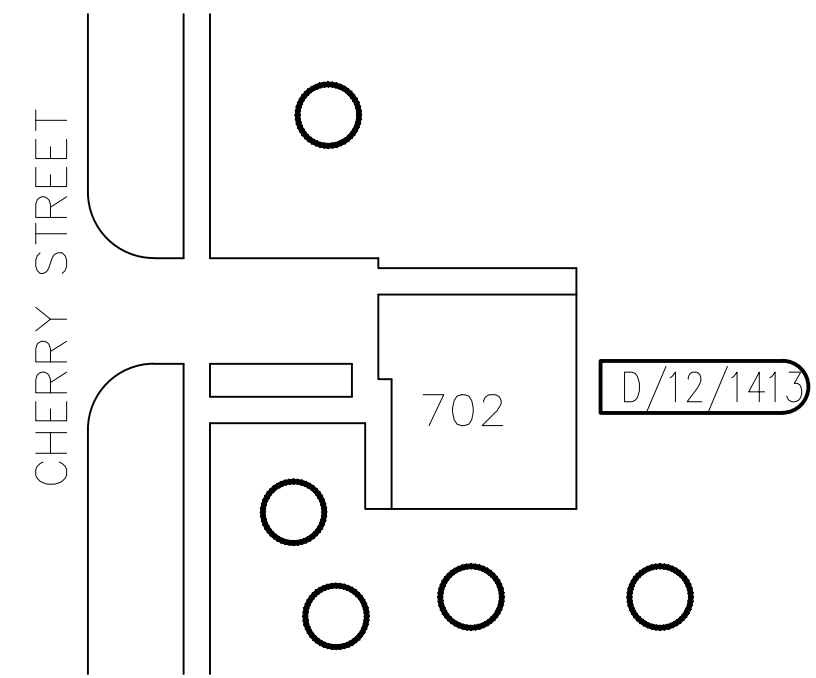
FAMILY UNITS				
# OF BEDROOMS	1 BR	2 BR	3 BR	TOTAL
# OF UNITS	4	12	8	24

LEBANON IL30-14 GARDENWOOD APTS.								
AMP	EIOP	BUILDINGS			DWELLING UNITS			
		TOTAL	ELDERLY	OUT BLDGS.	TOTAL	FAMILY	LRG. FAMILY	ELDERLY
5	3/31/81	13	0	0	24	16	8	0

UNIT AREA SCHEDULE	
30-14 Lebanon; Gardenwood Apts.	FLOOR AREA
A1 bedroom	
First	865 sqft
B2, C2 bedroom	
First	1,012 sqft
D3 bedroom	
First	1,000 sqft
Second	630 sqft

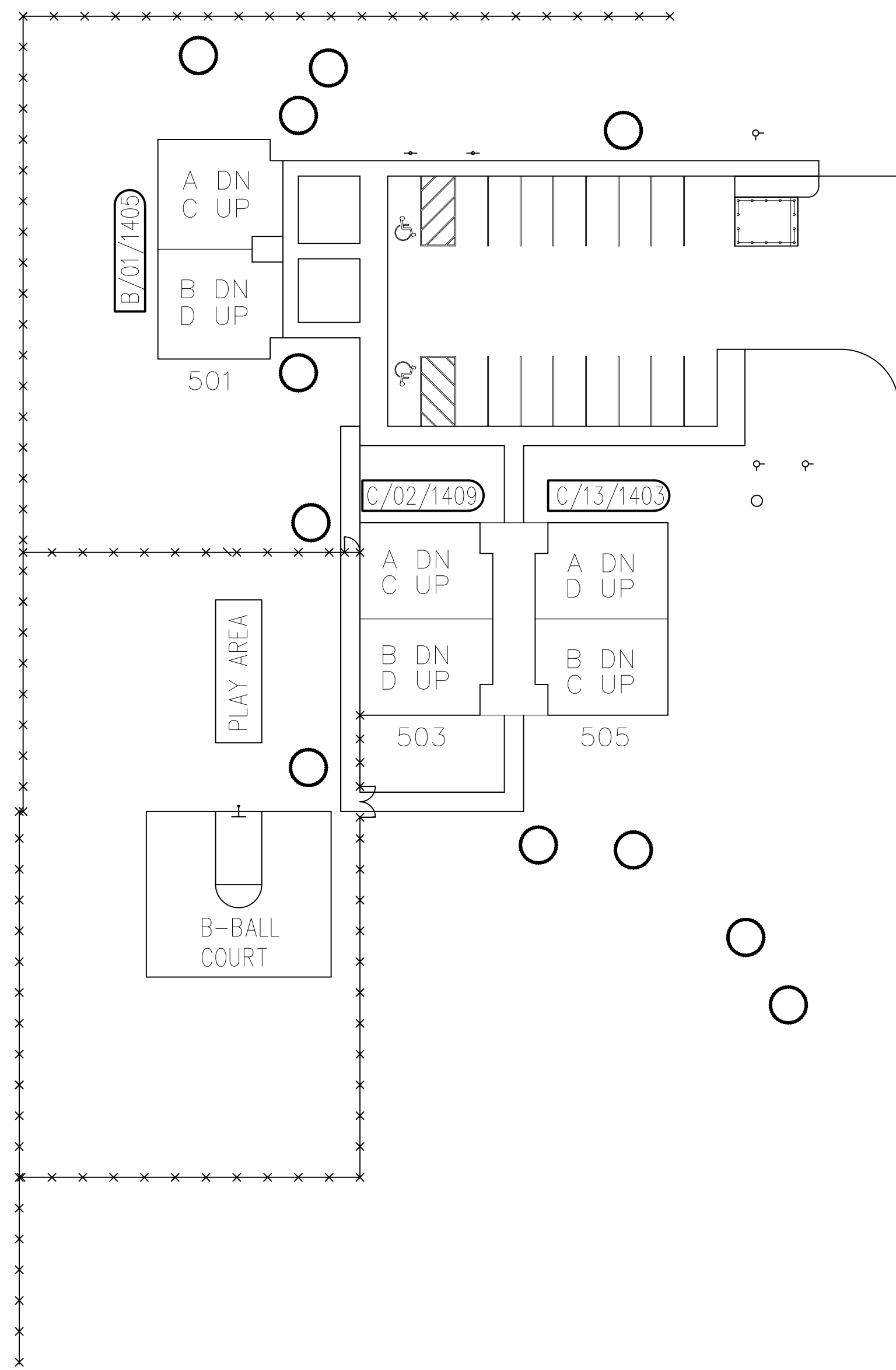
UNIT ACCESSIBILITY SCHEDULE		
Address	Apartment #	Code
<b>30-14 Lebanon; Gardenwood Apts.</b>		
East Randle Street	113	M
501 South Plum Street	A	WHV
501 South Plum Street	B	WHV

LEGEND  
M - MOBILITY H - HEARING  
V - VISION W - WHEELCHAIR

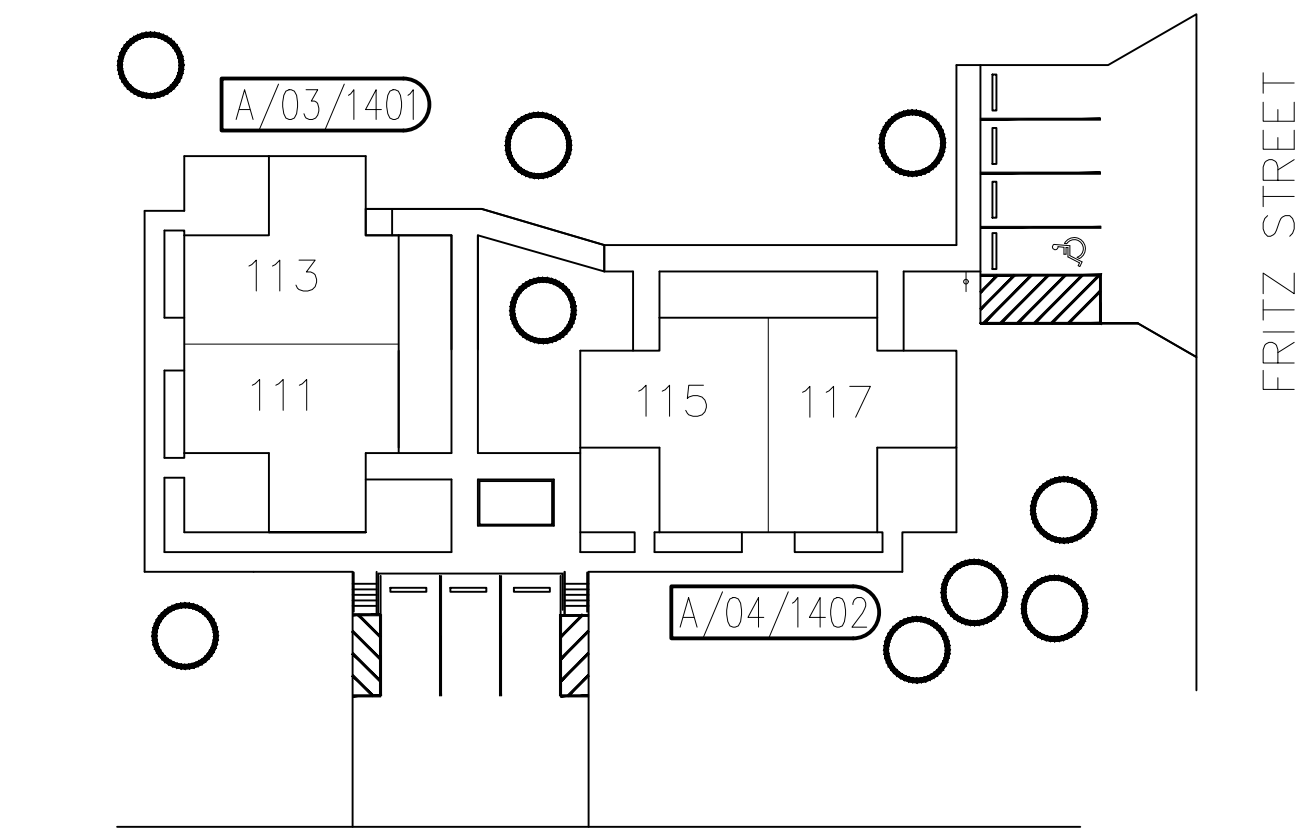


NORTH  
SITE PLAN LEBANON IL30-14  
SCALE: 1/32" = 1'-0"

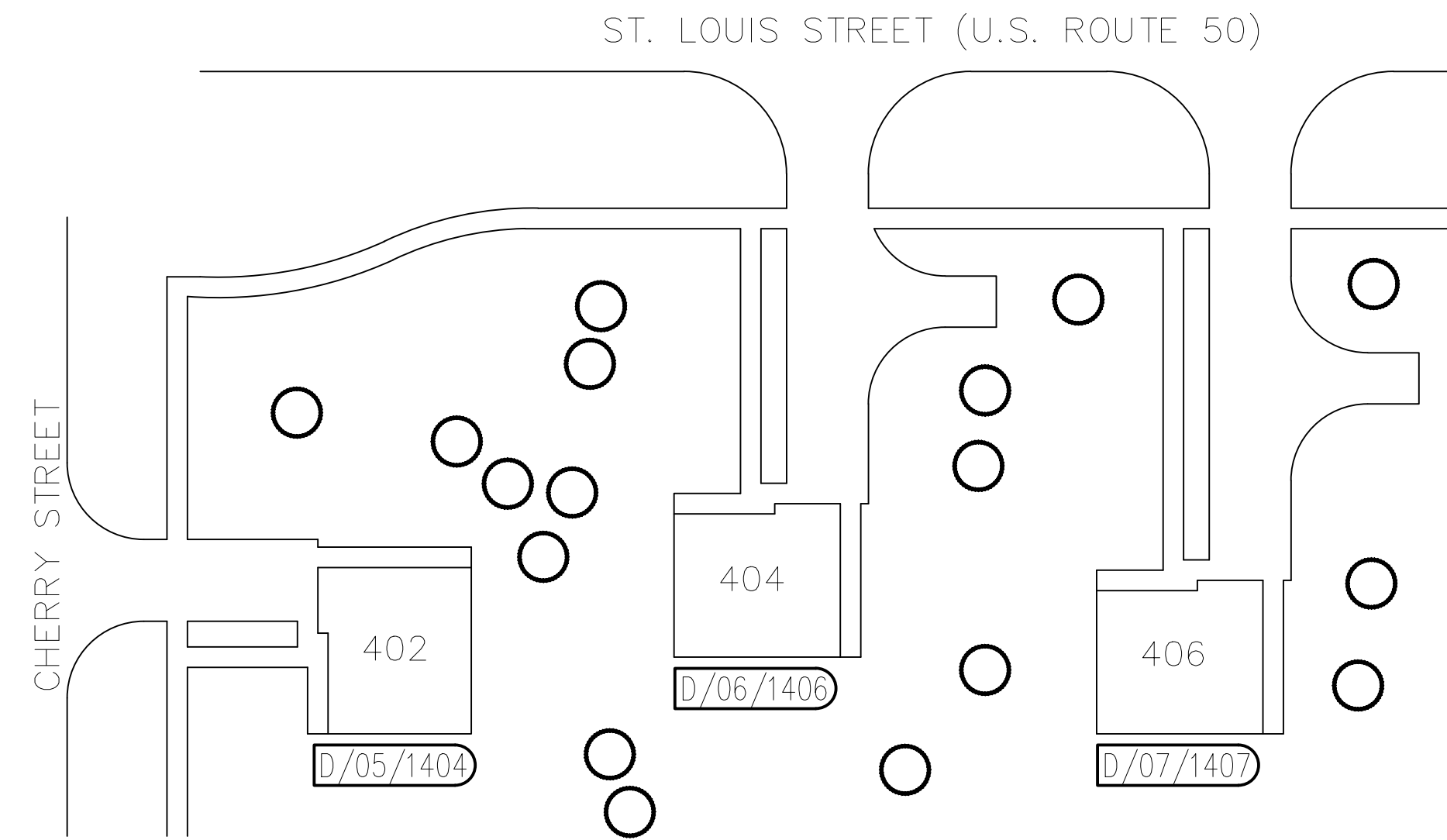
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SITE PLAN LEBANON IL30-14  
SCALE: 1/32" = 1'-0"



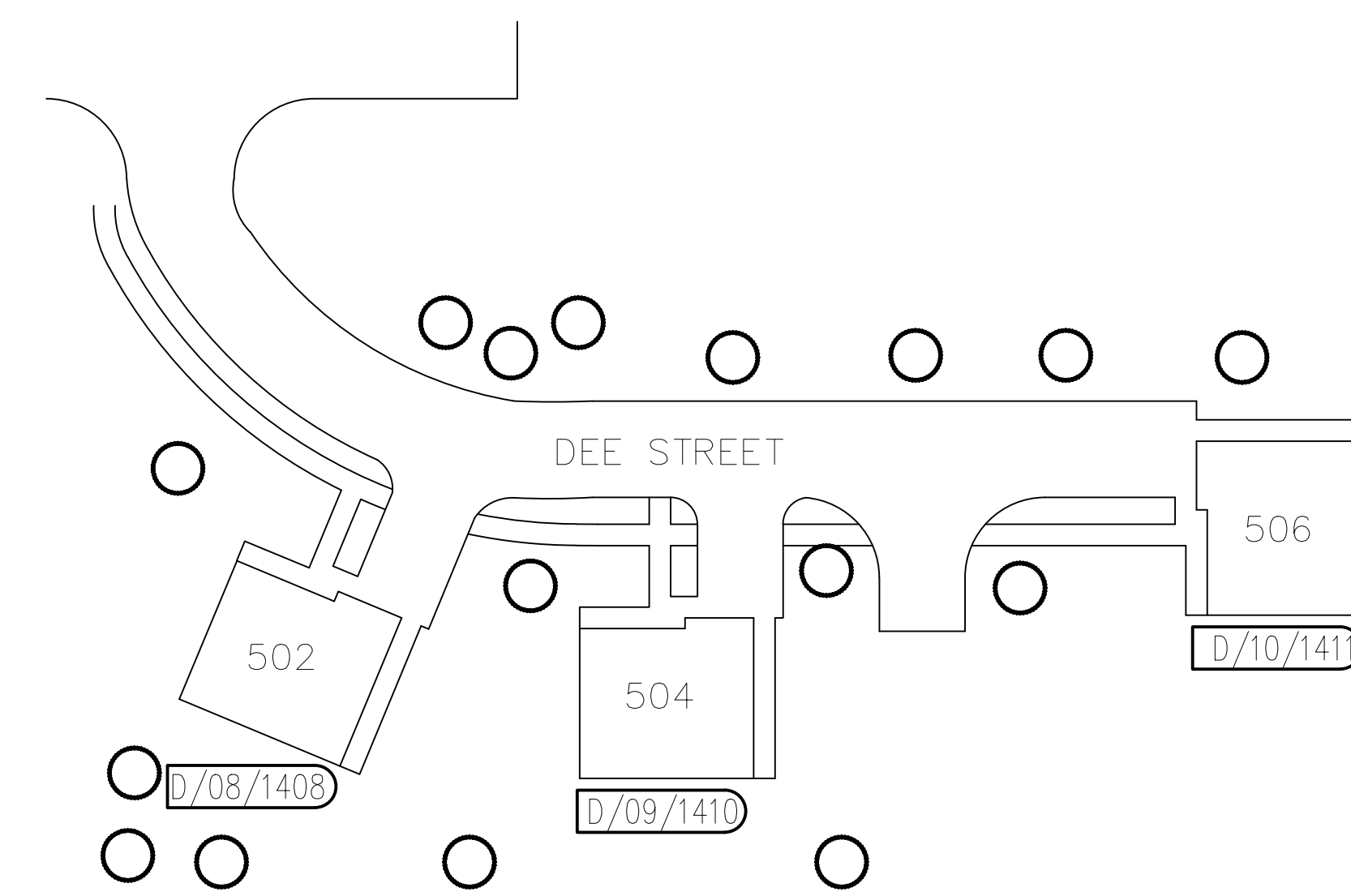
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SITE PLAN LEBANON IL30-14  
SCALE: 1/32" = 1'-0"



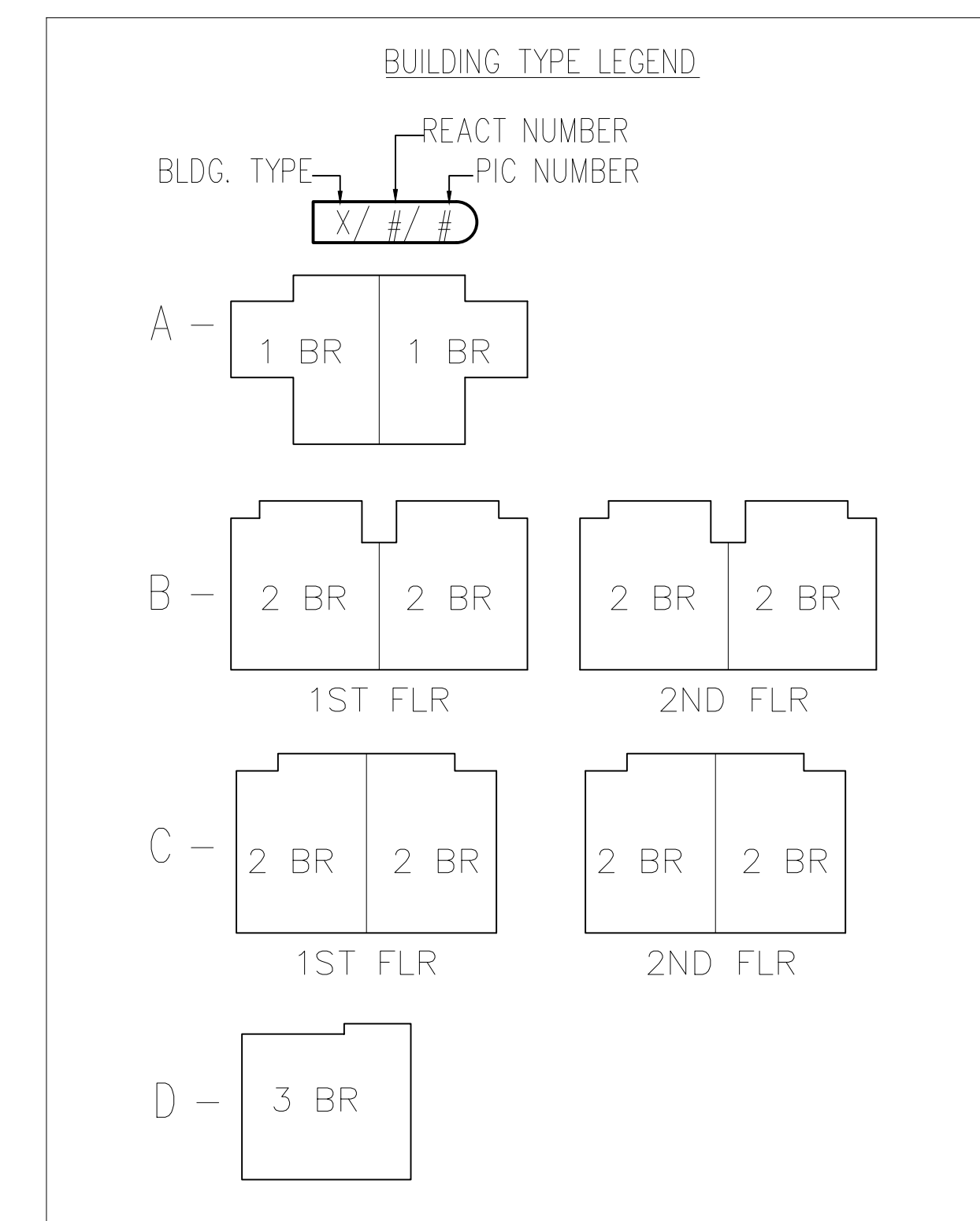
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SITE PLAN LEBANON IL30-14  
SCALE: 1/32" = 1'-0"



NORTH  
SITE PLAN LEBANON IL30-14  
SCALE: 1/32" = 1'-0"



NORTH  
SITE PLAN LEBANON IL30-14  
SCALE: 1/32" = 1'-0"



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ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLV DRAWN: JSM CHECK: BGE  
IL30-14 LEBANON SITE PLAN

C-101



Hurst-Rosche, Inc.  
PROFESSIONAL DESIGN NUMBER: 184-002098

1400 E. TREMONT STREET  
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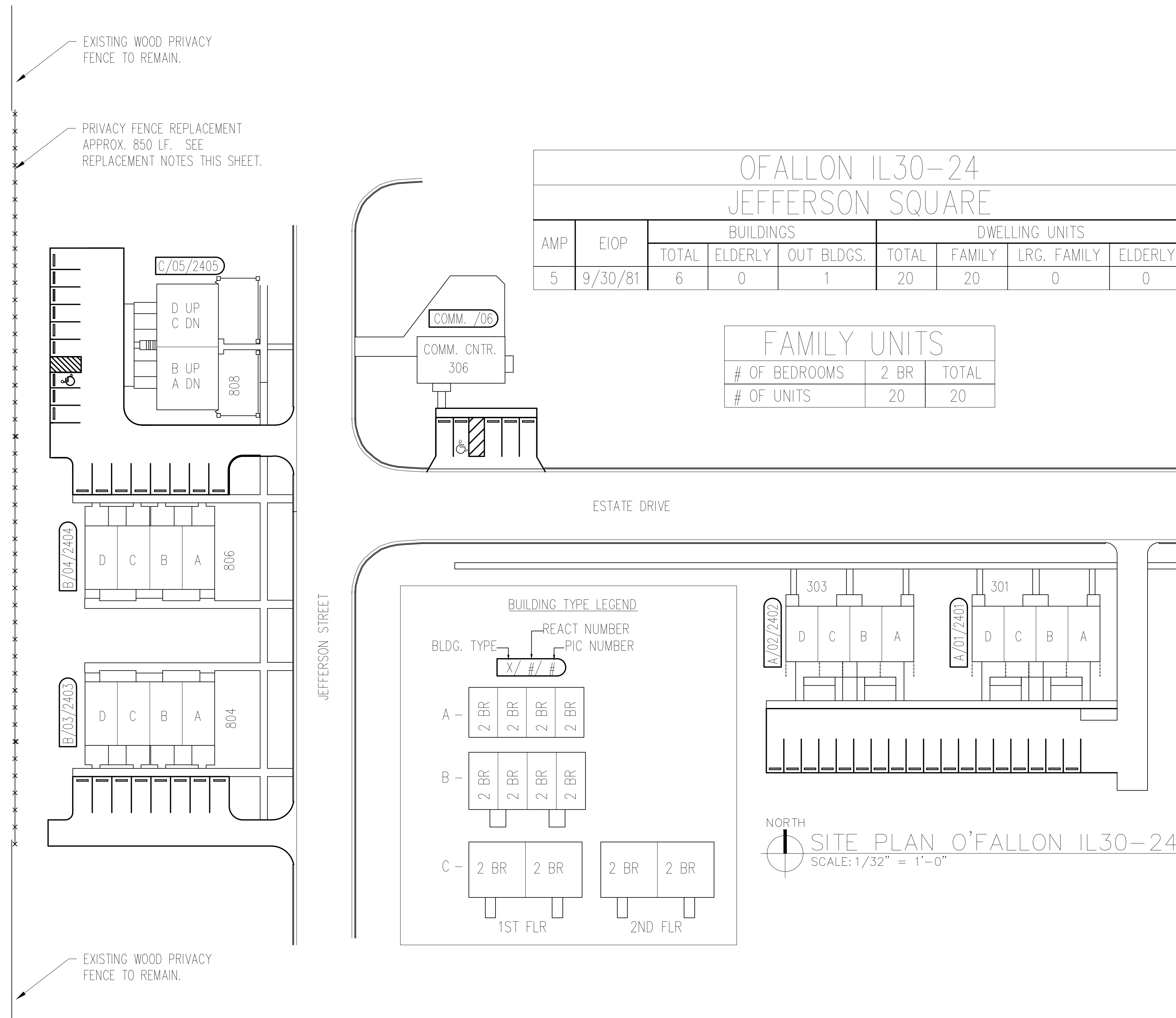
RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

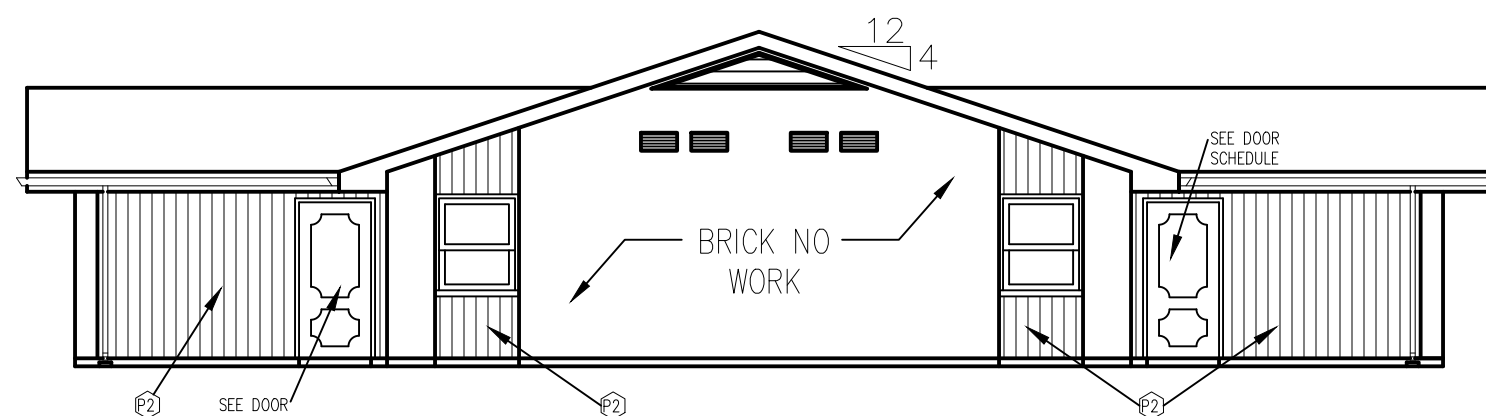
DATE: 04-14-2025  
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DESIGN: JLW DRAWN: JSM CHECK: BGE

IL30-24 O'FALLON SITE PLANS

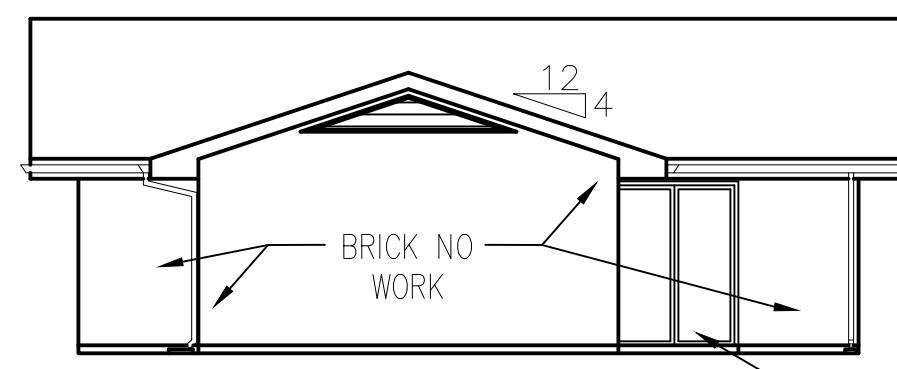
C-102



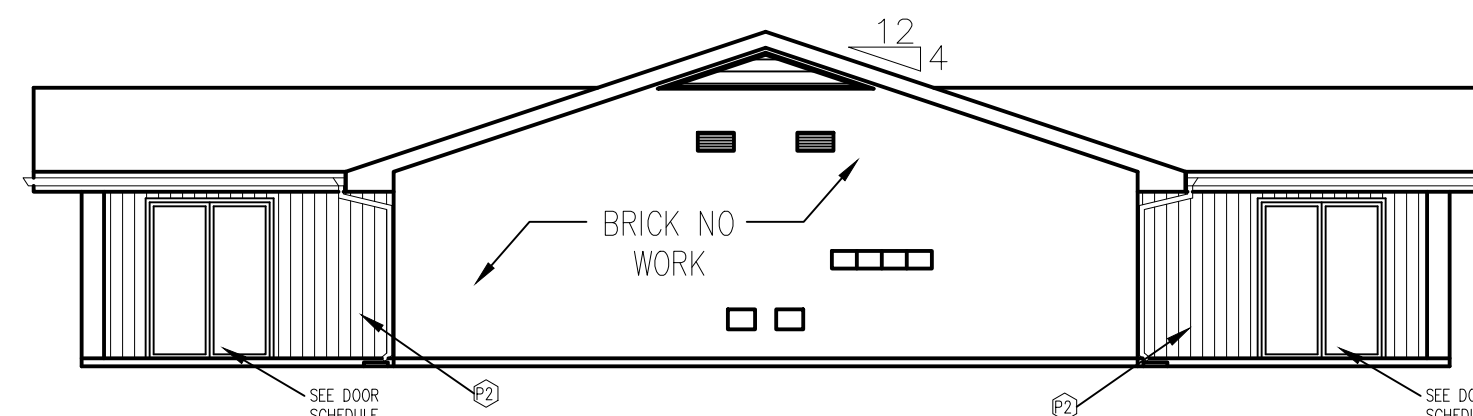
PRIVACY FENCE REPLACEMENT NOTES  
AT REAR OF 301 AND 303 ESTATE STREET, REMOVE AND REPLACE 1"x6"x7'-0" ALTERNATING SLATS WOOD PRIVACY FENCE PANELS. PRESERVE AND REUSE EXISTING 4"x4" WOOD POSTS IN PLACE. PRESERVE WOOD FENCE PANELS WITH WEATHER RESISTANT WOOD TREATMENT. (SOME SMALL TREE AND BRUSH REMOVAL REQUIRED.)



FRONT ELEVATION BLDG. TYPE "A"  
SCALE: 1/8" = 1'-0"



SIDE ELEVATION BLDG. TYPE "A"  
SCALE: 1/8" = 1'-0" (OPPOSITE SIDE REVERSE)



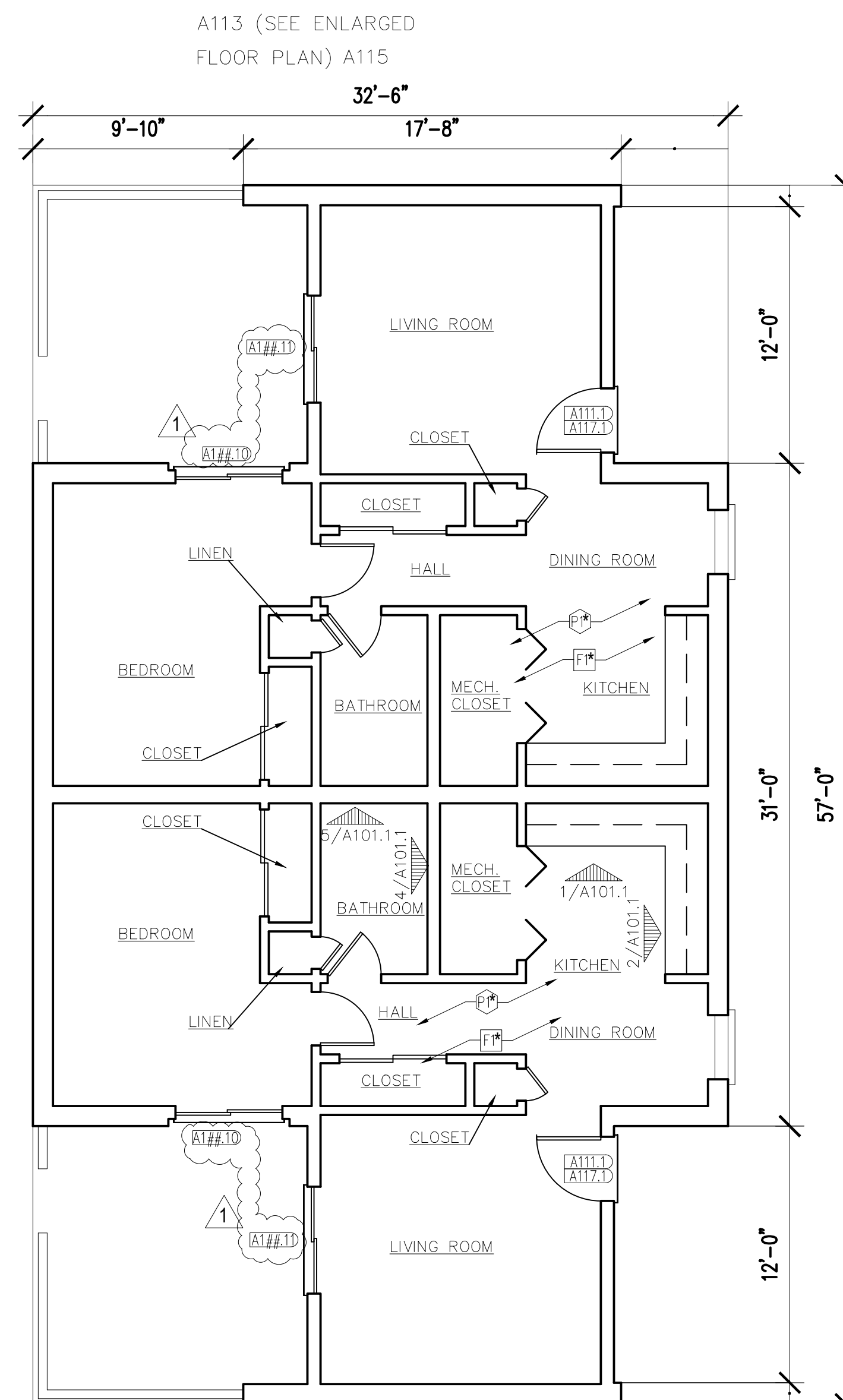
REAR ELEVATION BLDG. TYPE "A"  
SCALE: 1/8" = 1'-0"

FLOORING KEY NOTES [F#]

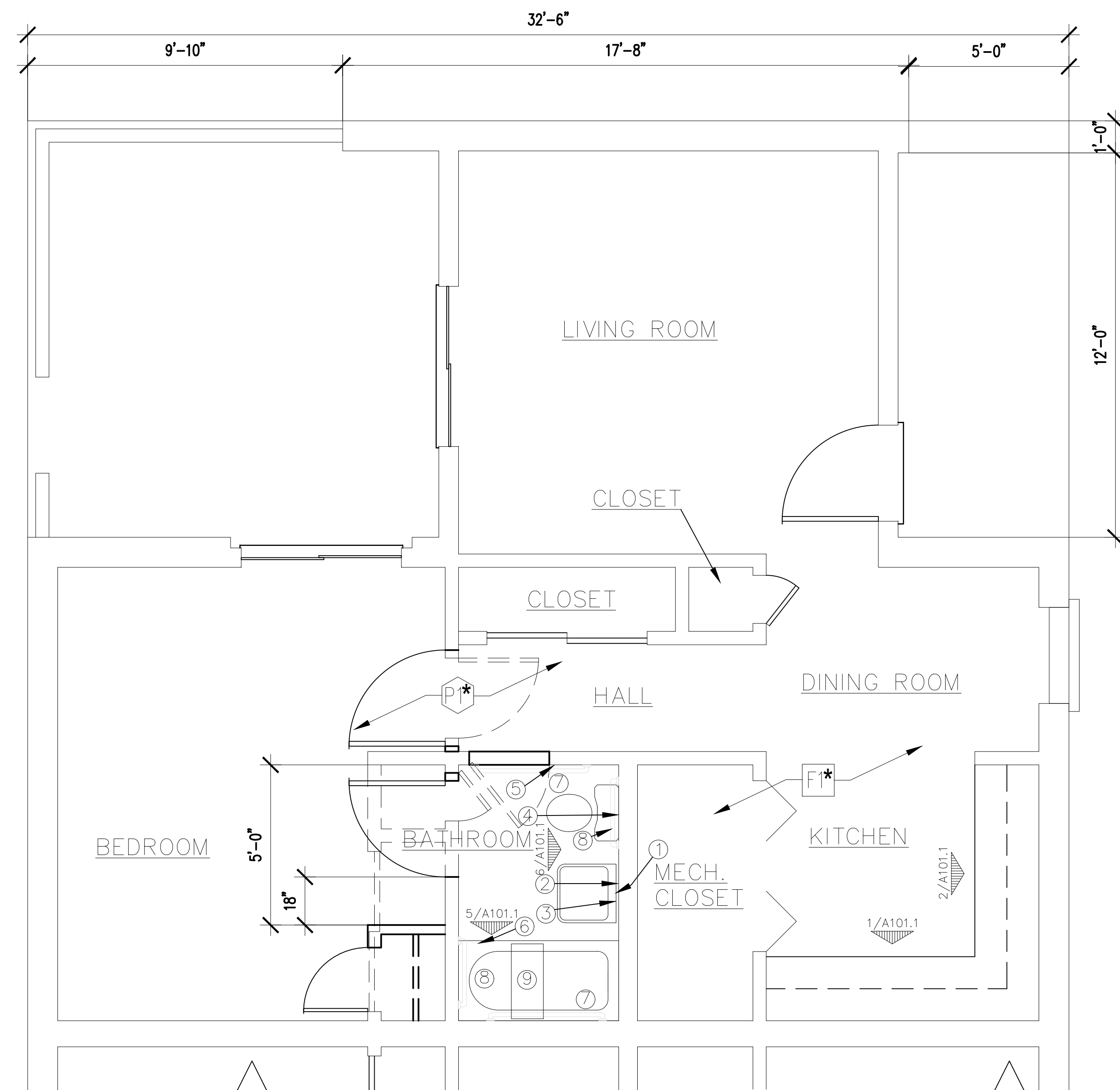
1. REMOVE AND DISPOSE OF EXISTING FLOORING, BASE AND MASTIC THROUGHOUT UNIT. INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.
- \* = THROUGHOUT UNIT, TYPICAL.

PAINTING KEY NOTES [P#]

1. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH) @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL, ALLOW 50SQFT PER DWELLING UNIT.
  2. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS & SIDING AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
  3. ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.
- \* = THROUGHOUT UNIT, TYPICAL.



1 FLOOR PLAN BUILDING TYPE "A"  
A-101 SCALE: 3/16" = 1'-0"



2 ENLARGED PLAN  
(UNIT A113 ONLY)  
A-101 SCALE: 3/8" = 1'-0"

GENERAL NOTES:

1. REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES - INSTALL NEW AS SHOWN ON A#01 SHEET FOR BUILDING TYPE, TYPICAL.
2. REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#01 SHEET FOR BUILDING TYPE, TYPICAL.
3. FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
4. SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
6. COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
7. ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
8. WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
9. ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
10. ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
11. ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
12. PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
13. COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.

DOOR SCHEDULE

DOOR NO.	SIZE (F.V.) FIELD VERIFY SIZES AND THICKNESS			DOOR			FRAME			LABEL	H'WARE GROUP	DETAILS			REMARKS
	WIDTH	HEIGHT	THICK	(F.V.) MATERIAL	FINISH	ELEV.	(F.V.) MATERIAL	FINISH	ELEV.			HEAD	JAMB	SILL	
A111.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	*SEE NOTE
A113.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
A117.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
A1##.10	PR 2'-6"	6'-8"	---	---	---	---	---	---	---	---	---	A	B&C	---	(2) REQ'D
A1##.11	PR 2'-6"	6'-8"	---	---	---	---	---	---	---	---	---	A	B&C	---	(2) REQ'D

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.

\* ALL 12 "TYPE A" UNITS REQUIRE A MAIL SLOT IN ENTRY DOOR. SEE SPECIFICATIONS, TYPICAL



Hurst-Rosche, Inc.  
PROFESSIONAL DESIGN NUMBER: 184-002098  
1400 E. TREMONT STREET  
HILLSBORO, IL  
PH: 217.532.3959  
www.hurst-rosche.com  
EAST ST. LOUIS, IL  
MARION, IL  
ARNOLD, MO  
NASHVILLE, TN  
SPRINGFIELD, IL

SIGNATURE xx-xx-2025  
DATE 11-30-2026  
LICENSE EXPIRES

RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION
1	4/22/25	ADDENDUM - 1

DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLV DRAWN: JSM CHECK: BGE  
IL30-14 LEBANON  
BUILDING TYPE "A"  
PLANS AND ELEVATIONS

A-101



Hurst-Rosche, Inc.  
PROFESSIONAL DESIGN NUMBER: 184-00298

1400 E. TREMONT STREET  
HILLSBORO, IL  
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MARION, IL  
ARNOLD, MO  
NASHVILLE, TN  
SPRINGFIELD, IL

SIGNATURE  
xx-xx-2025  
DATE  
11-30-2026  
LICENSE EXPIRES

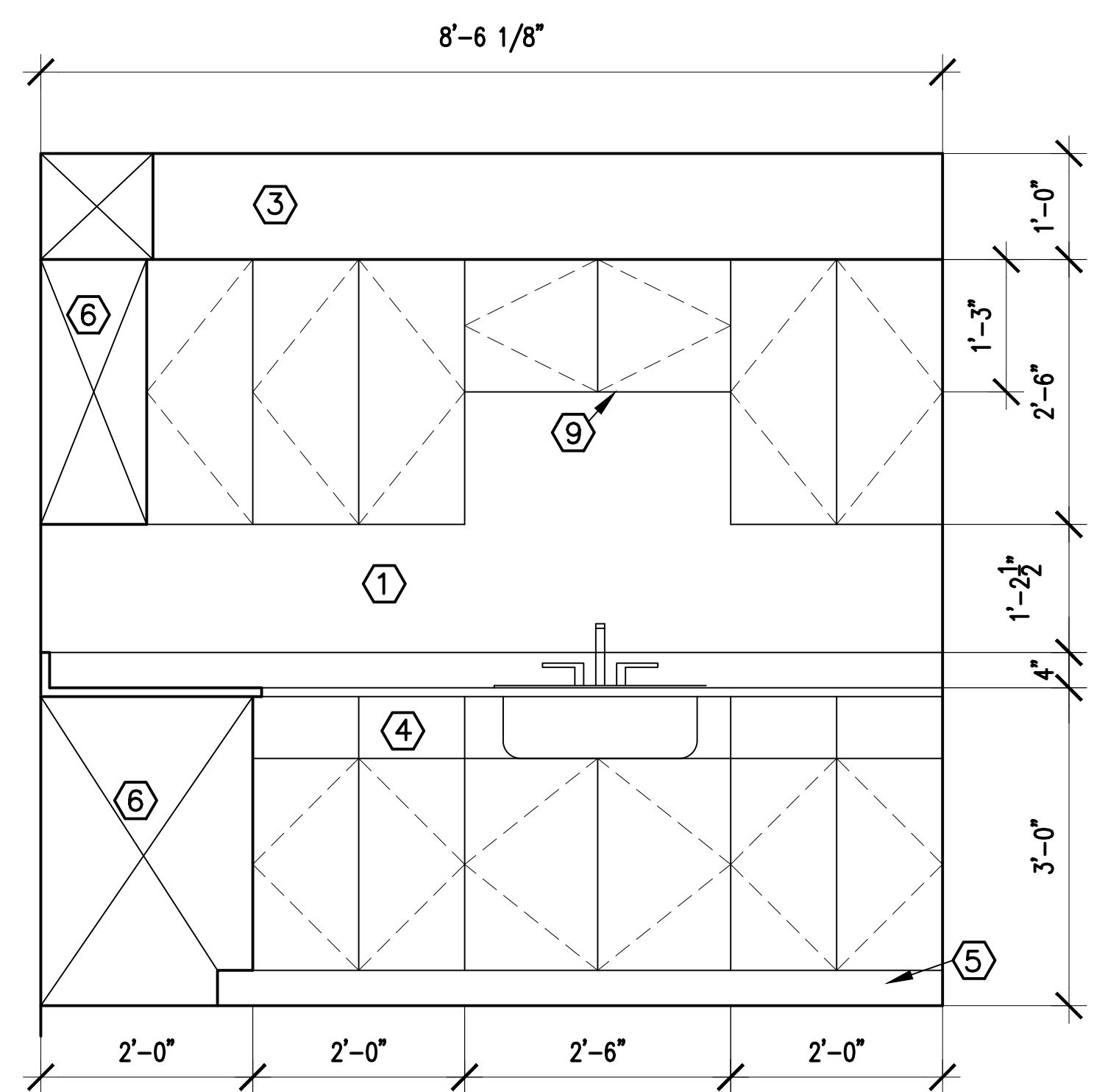
RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

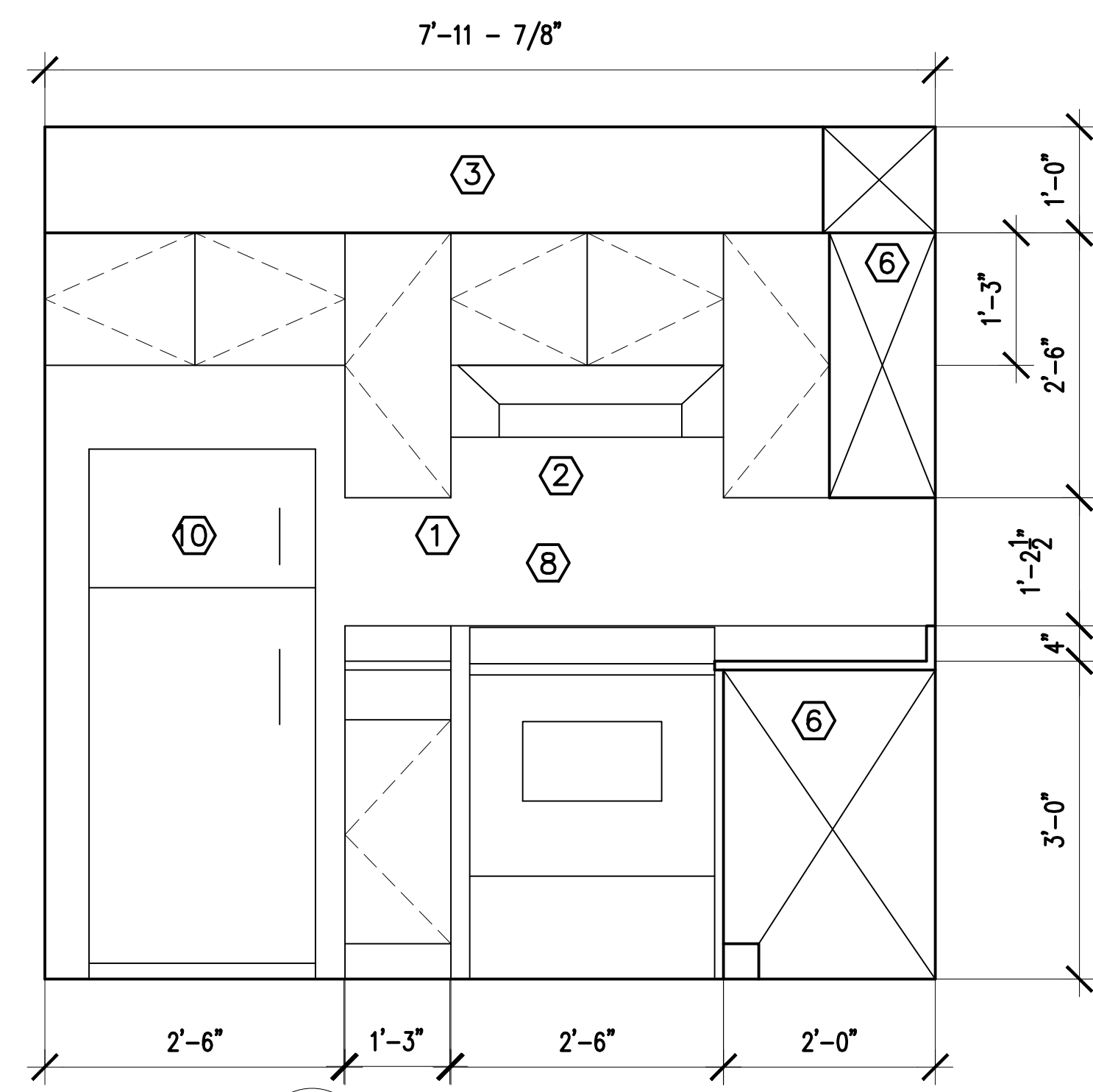
DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLV DRAWN: JSM CHECK: BGE

IL30-14 LEBANON  
BUILDING TYPE "A"  
PLANS AND ELEVATIONS

A101.1

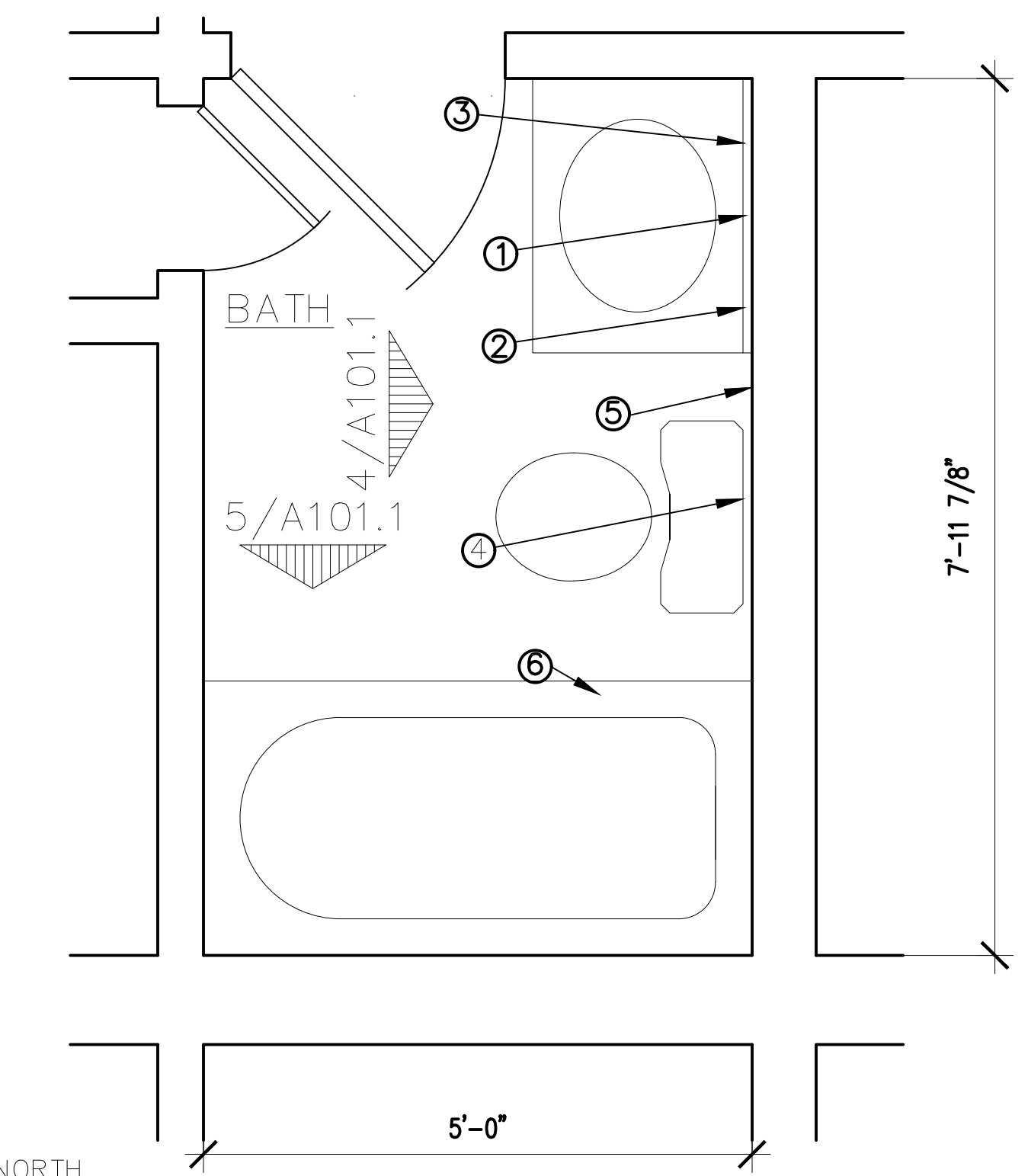


1 CASEWORK ELEV.  
A101.1 SCALE: 3/4"=1'-0"

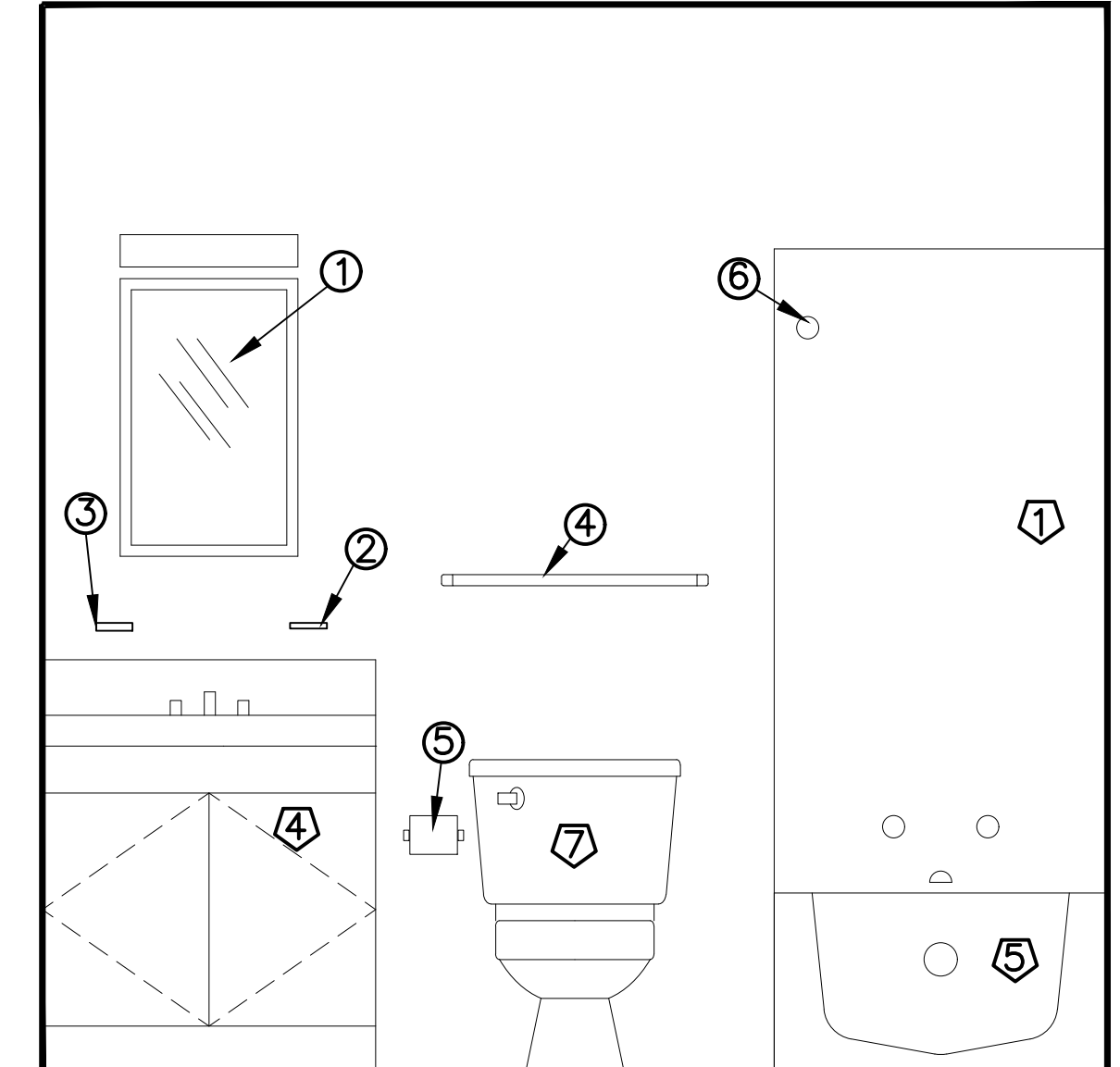


2 CASEWORK ELEV.  
A101.1 SCALE: 3/4"=1'-0"

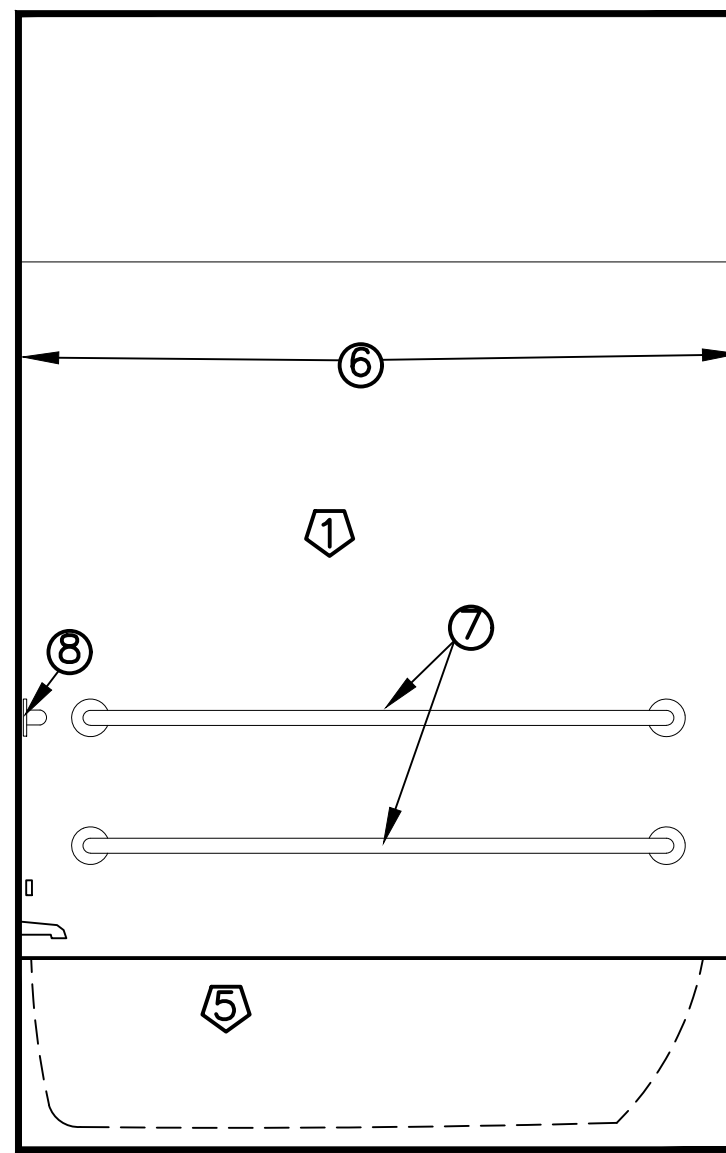
- ### KITCHEN KEYED NOTES #
- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
  - NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
  - EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
  - SINK BASE CABINET.
  - 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
  - FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
  - FINISHED FILLER TO MATCH CABINET FINISH
  - WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
  - UNDER CABINET LIGHT. COORDINATE W/ ELECTRICAL. INSTALL ON CABINET SURFACE.
  - REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.



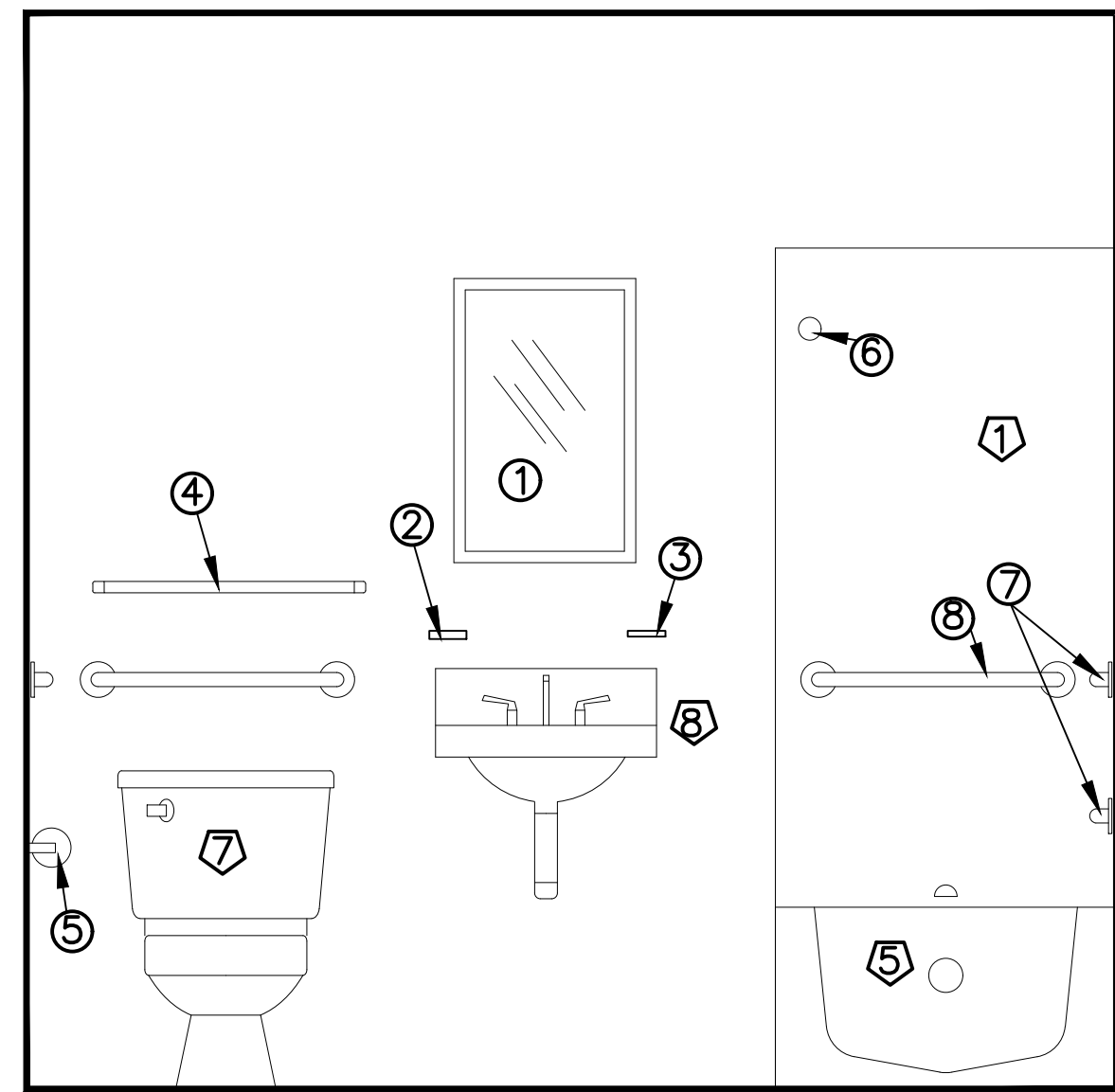
NORTH  
ENLARGED BATHROOM PLAN  
SCALE: 3/4"=1'-0"  
(A111, A115, A117)



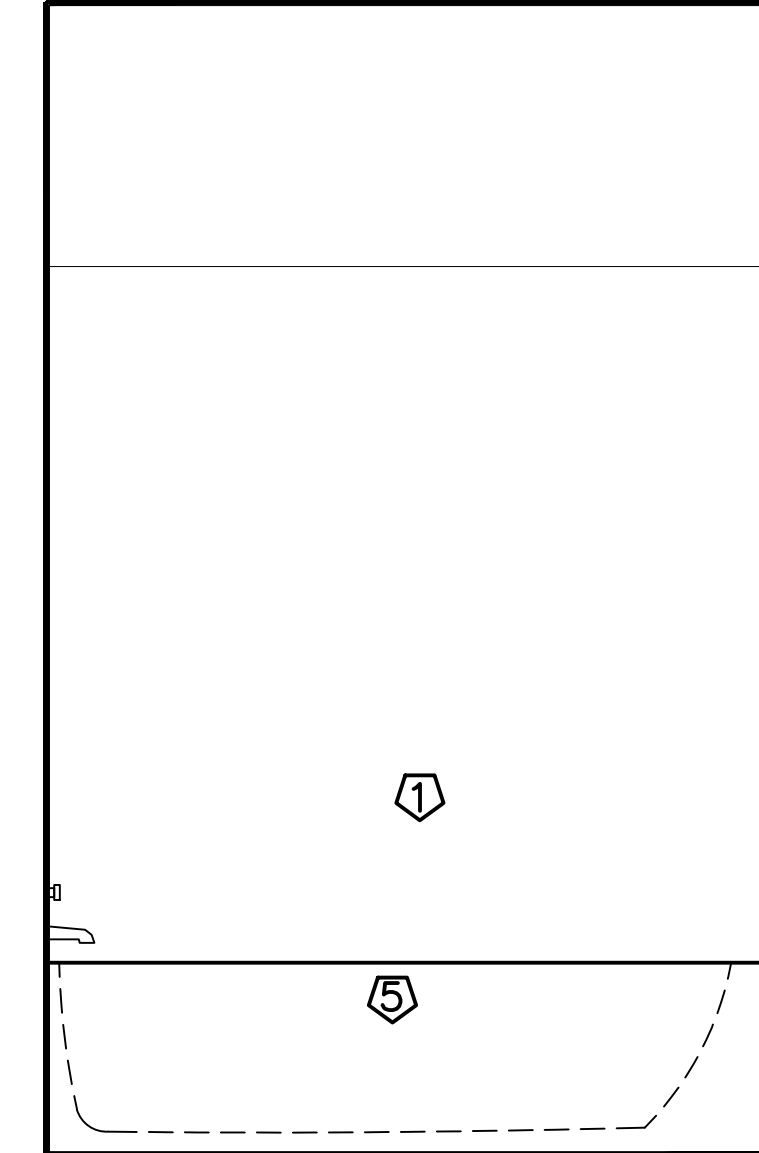
4 BATHROOM ELEV.  
A101.1 SCALE: 3/4"=1'-0"



(UNIT A113 ONLY)  
5 BATHROOM ELEV.  
A101.1 SCALE: 3/4"=1'-0"



(UNIT A113 ONLY)  
6 BATHROOM ELEV.  
A101.1 SCALE: 3/4"=1'-0"



3 BATHROOM ELEV.  
A-101 SCALE: 3/8"=1'-0"

- ### TOILET/BATH KEY NOTES #
- TUB/SHOWER SURROUND W/CORNER SHELVEING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 1/2" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
  - LIGHT FIXTURE - COORD. WITH ELECTRICAL
  - 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
  - VANITY CABINET W/CULTURED MARBLE. TOP W/INTEGRAL SINK.
  - NEW TUB. - COORD. WITH PLUMBING
  - ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL, THROUGHOUT UNIT, TYPICAL.
  - NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
  - NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.

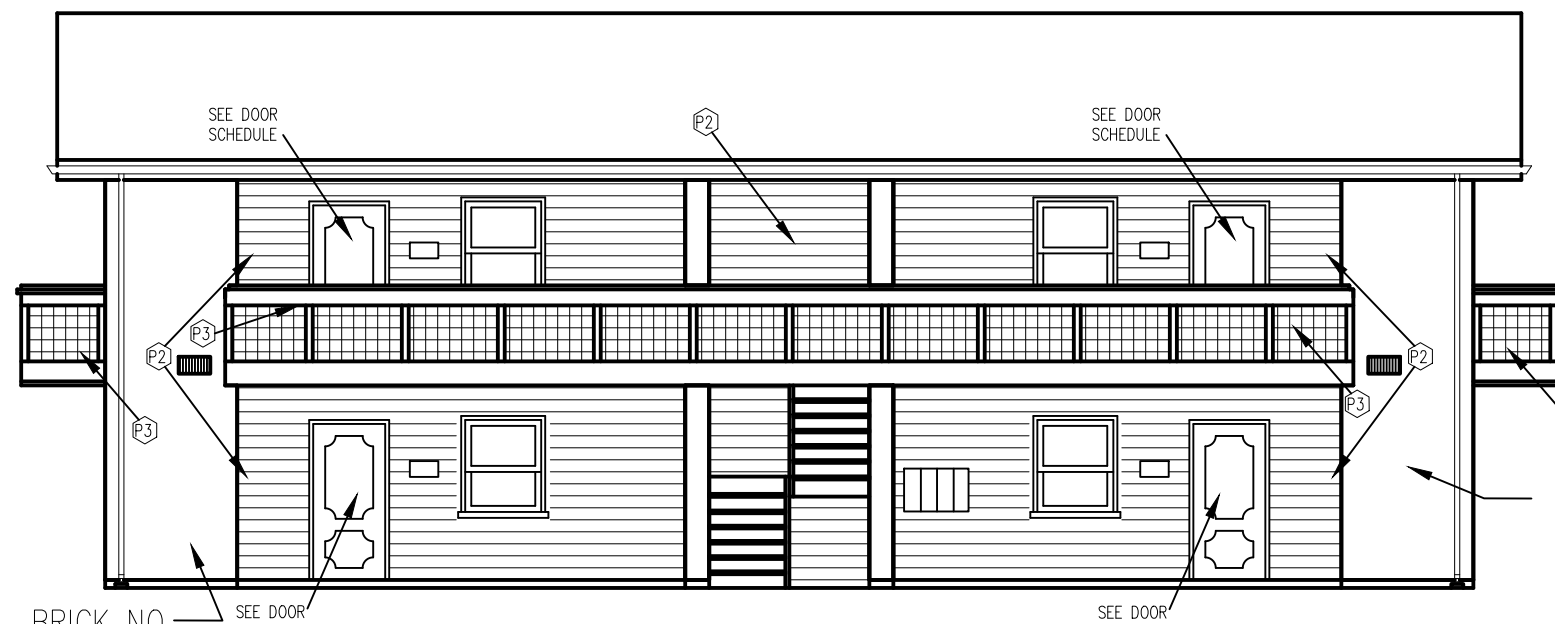
- ### KITCHEN GENERAL NOTES
- COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
  - GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
  - DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
  - COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
  - FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
  - PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
  - INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
  - INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
  - INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
  - PROVIDE BACKSPLASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
  - ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
  - INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

### TOILET/BATH ACCESSORIES SCHEDULE #

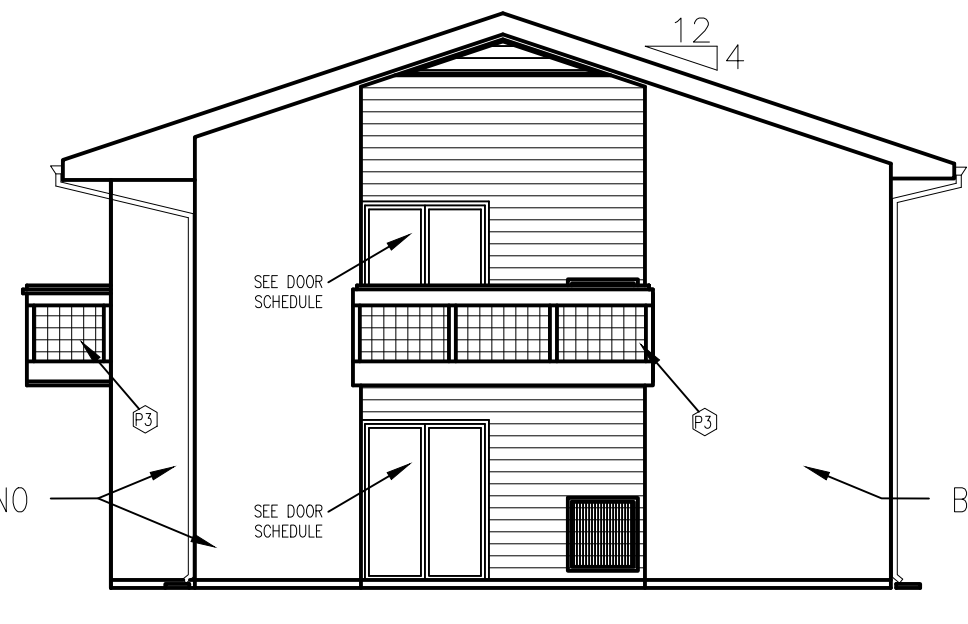
#	ITEM	DESCRIPTION	MOUNTING (A.F.F.)	REMARKS
1	M	WALL MOUNTED MIRROR (18" x 30")	40" TO BOTTOM	--
2	SD	SOAP DISH	40" TO TOP	--
3	CH	CUP HOLDER	40" TO TOP	--
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	--
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	--
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	--
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--
8	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--

- ### TOILET/BATH ELEVATION GENERAL NOTES
- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
  - PROVIDE BLOCKING IN WALLS FOR ANCHORING ALL ACCESSORIES WHERE REQUIRED IF NOT EXISTING.
  - ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING AND ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
  - PRIME AND PAINT ALL GYPSUM BOARD AND CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
  - ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.

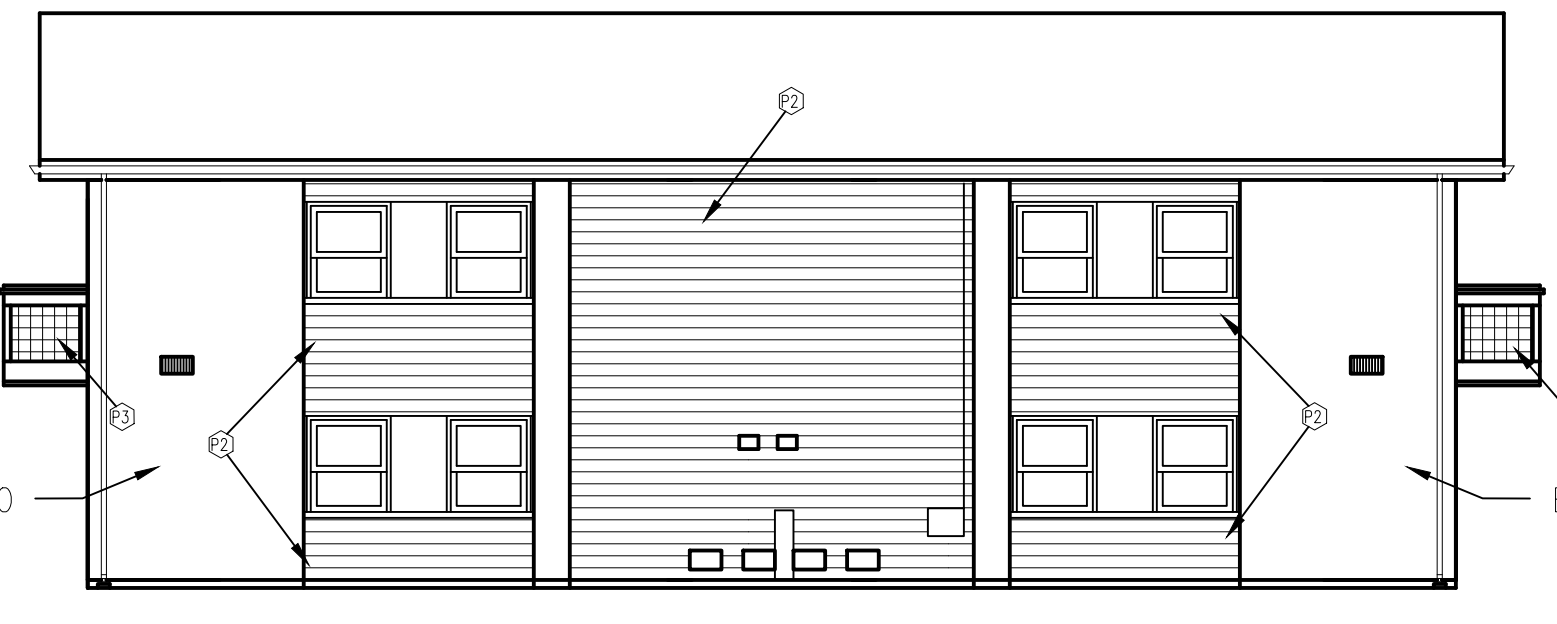




FRONT ELEVATION BLDG. TYPE "B"  
SCALE: 1/8"=1'-0"



SIDE ELEVATION BLDG. TYPE "B"  
SCALE: 1/8"=1'-0"  
(OPPOSITE SIDE REVERSE)



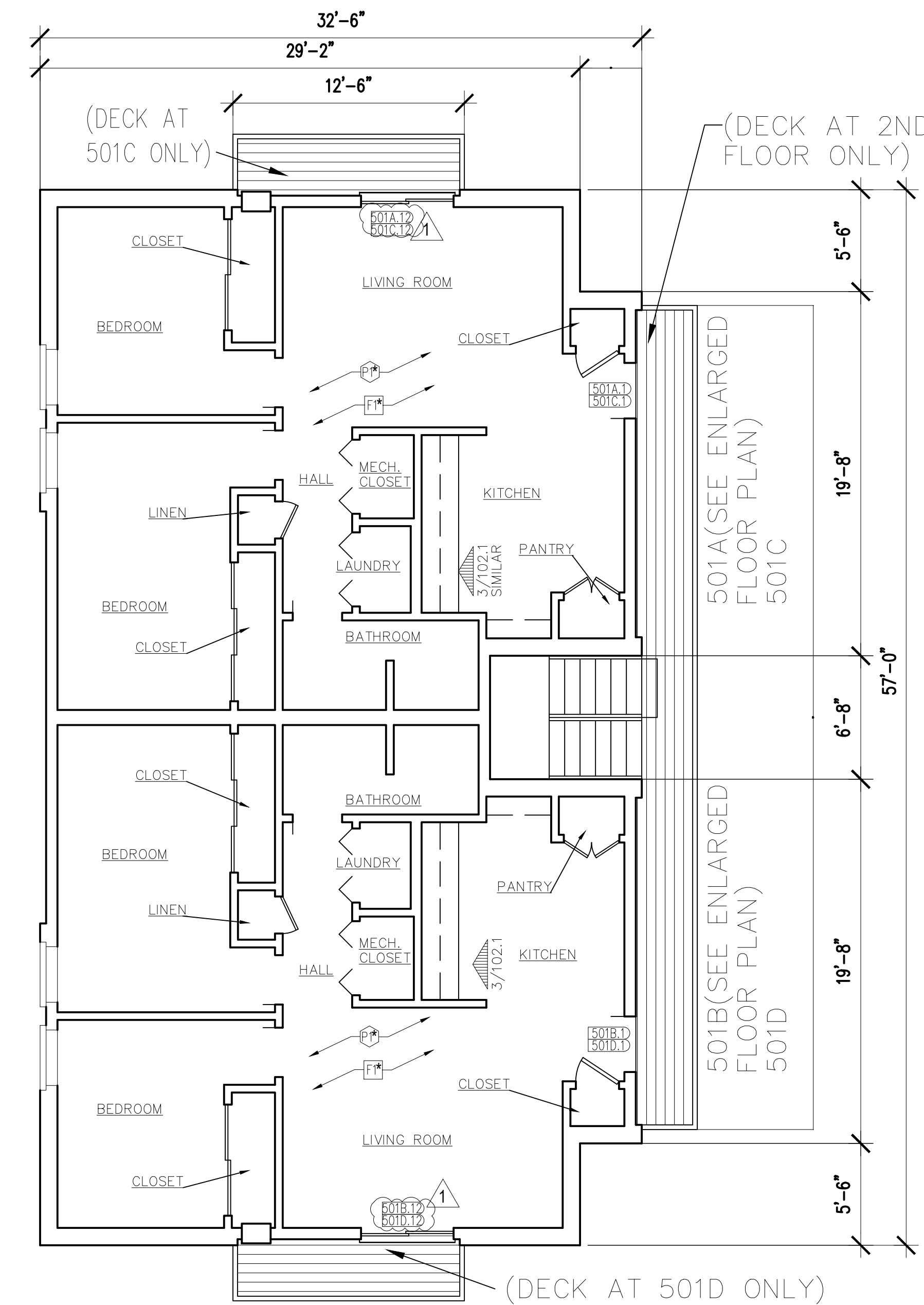
REAR ELEVATION BLDG. TYPE "B"  
SCALE: 1/8"=1'-0"

**FLOORING KEY NOTES** F#

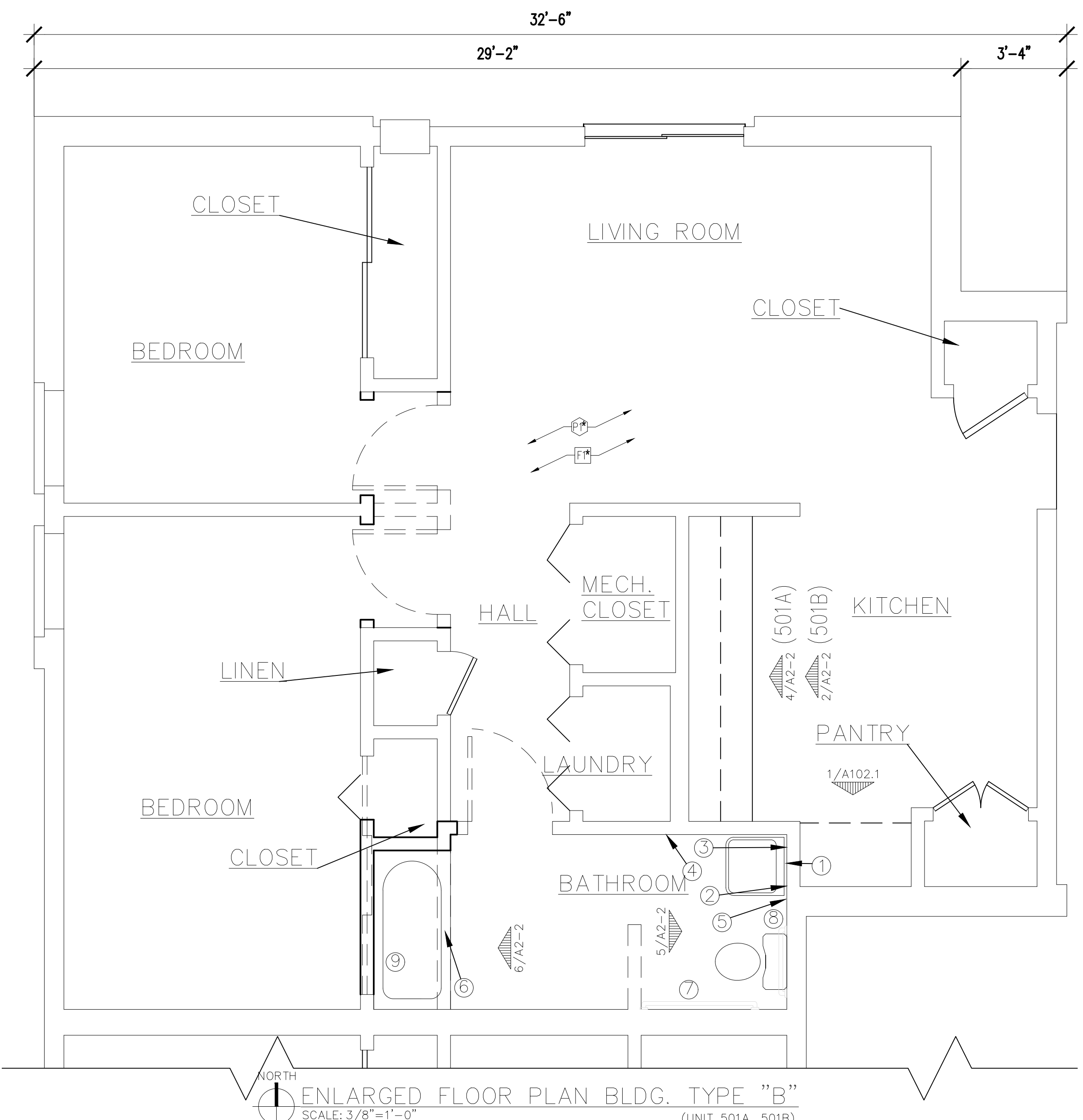
1. REMOVE AND DISPOSE OF EXISTING FLOORING, BASE AND MASTIC THROUGHOUT UNIT. INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.  
\* = THROUGHOUT UNIT, TYPICAL.

**PAINTING KEY NOTES** P#

1. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL, ALLOW 50SOFT PER DWELLING UNIT.  
\* = THROUGHOUT UNIT, TYPICAL.
2. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS & SIDING AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
3. ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.



FLOOR PLAN BLDG. TYPE "B"  
SCALE: 3/16"=1'-0"



ENLARGED FLOOR PLAN BLDG. TYPE "B"  
SCALE: 3/8"=1'-0"  
(UNIT 501A, 501B)

**GENERAL NOTES:**

1. REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES - INSTALL NEW AS SHOWN ON A#.01 SHEET FOR BUILDING TYPE, TYPICAL.
2. REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#.01 SHEET FOR BUILDING TYPE, TYPICAL.
3. FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
4. SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
6. COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
7. ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
8. WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
9. ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
10. ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
11. ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
12. PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
13. COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.

**DOOR SCHEDULE**

DOOR NO.	SIZE			DOOR			FRAME			H'WARE GROUP	DETAILS			REMARKS
	(F.V.) FIELD VERIFY SIZES AND THICKNESS			(F.V.) MATERIAL	FINISH	ELEV.	(F.V.) MATERIAL	FINISH	ELEV.		HEAD	JAMB	SILL	
501A.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	3	A	B&C	---	2-VIEWERS REQ'D
501B.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	3	A	B&C	---	2-VIEWERS REQ'D
501C.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	3	A	B&C	---	
501D.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	3	A	B&C	---	
501A.12	PR 2'-6"	6'-8"	---	---	---	---	---	---	---	---	A	B&C	---	
501B.12	PR 2'-6"	6'-8"	---	---	---	---	---	---	---	---	A	B&C	---	
501C.12	PR 2'-6"	6'-8"	---	---	---	---	---	---	---	---	A	B&C	---	
501D.12	PR 2'-6"	6'-8"	---	---	---	---	---	---	---	---	A	B&C	---	

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.

SIGNATURE xx-xx-2025  
DATE 11-30-2026  
LICENSE EXPIRES

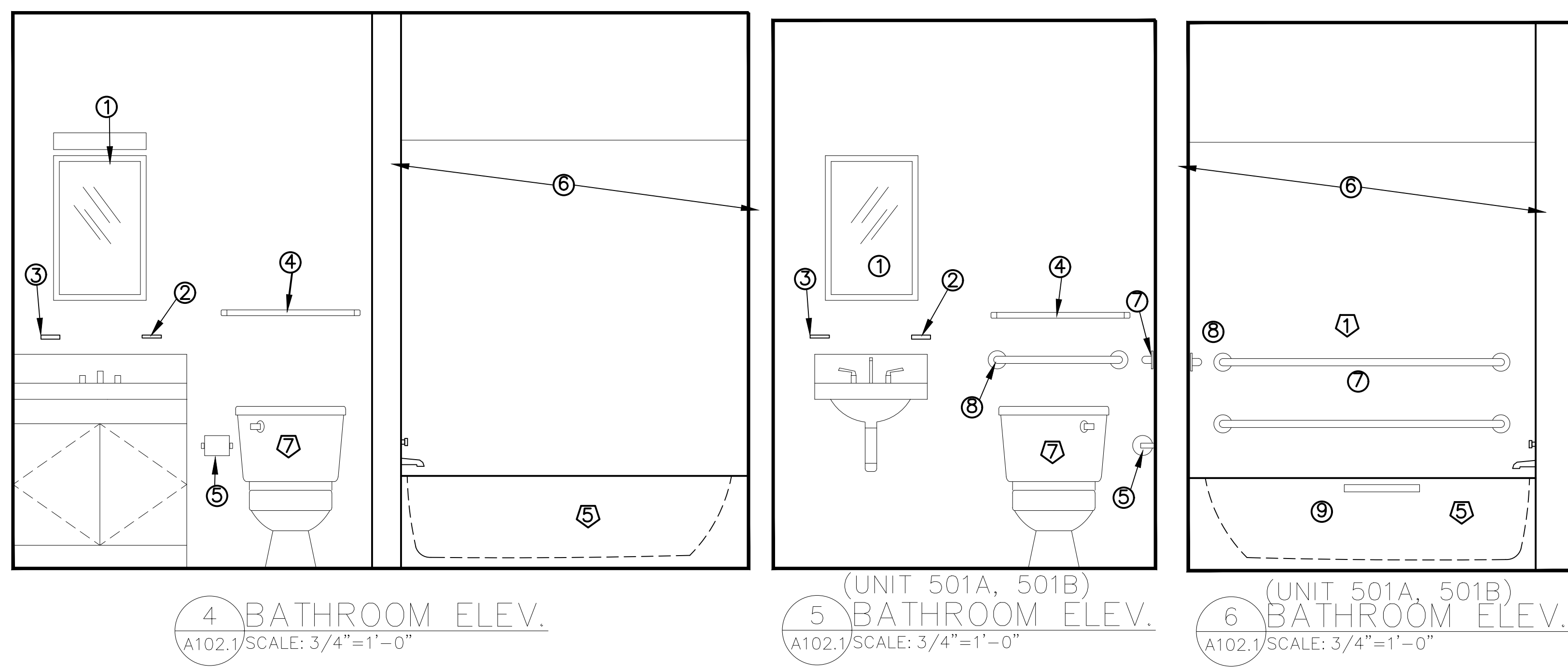
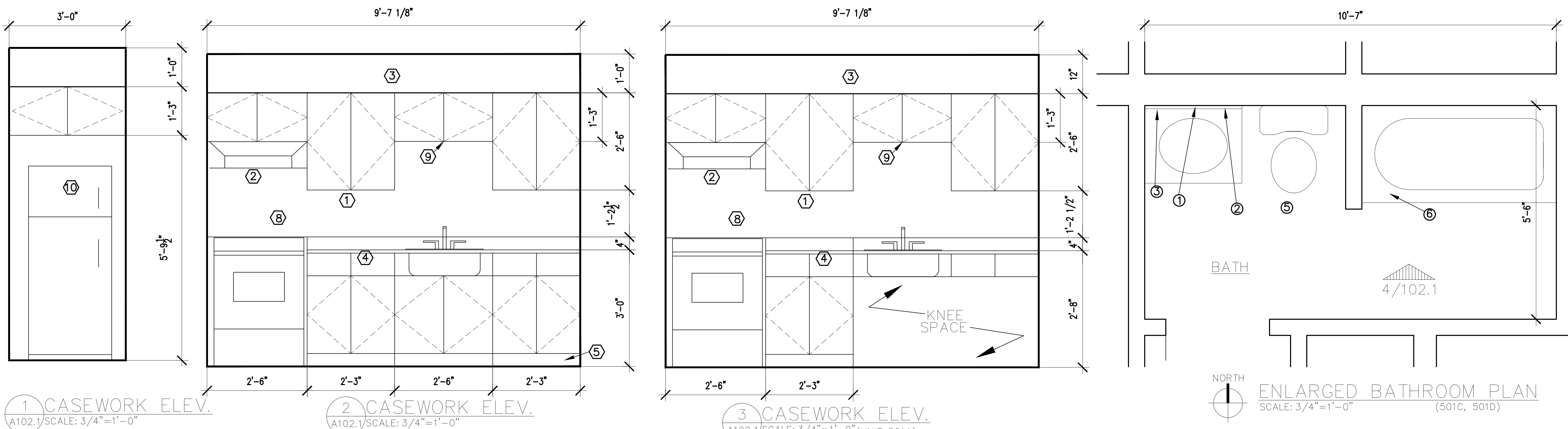
RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION
1	4/22/25	ADDENDUM - 1

DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLW DRAWN: JSM CHECK: BGE

IL30-14 LEBANON  
BUILDING TYPE "B"  
PLANS AND ELEVATIONS

**A102**



- TOILET/BATH KEY NOTES**
- TUB/SHOWER SURROUND W/CORNER SHELVING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 1/2" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
  - LIGHT FIXTURE - COORD. WITH ELECTRICAL
  - 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
  - VANITY CABINET W/CULTURED MARBLE TOP W/INTEGRAL SINK.
  - NEW TUB. - COORD. WITH PLUMBING
  - ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL THROUGHOUT UNIT, TYPICAL.
  - NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
  - NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.

- KITCHEN GENERAL NOTES**
- COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
  - GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
  - DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
  - COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
  - FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
  - PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
  - INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
  - INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
  - INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
  - PROVIDE BACKSPLASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
  - ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
  - INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

**TOILET/BATH ACCESSORIES SCHEDULE**

#	ITEM	DESCRIPTION	MOUNTING (A.F.F.)	REMARKS
1	M	WALL MOUNTED MIRROR (18" x 30")	40" TO BOTTOM	--
2	SD	SOAP DISH	40" TO TOP	--
3	CH	CUP HOLDER	40" TO TOP	--
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	--
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	--
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	--
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--
8	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--

- KITCHEN KEYED NOTES**
- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
  - NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
  - EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
  - SINK BASE CABINET.
  - 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
  - FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
  - FINISHED FILLER TO MATCH CABINET FINISH
  - WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
  - UNDER CABINET LIGHT. COORDINATE w/ ELECTRICAL. INSTALL ON CABINET SURFACE.
  - REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.

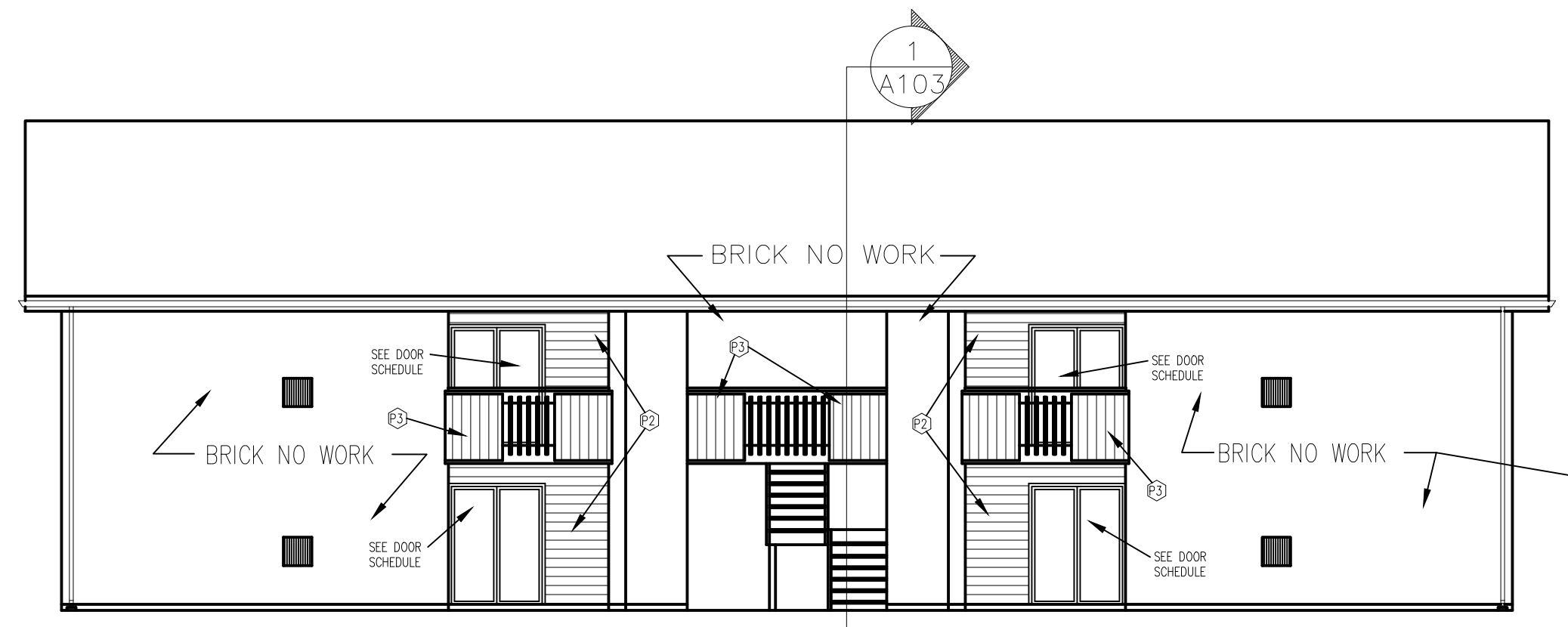
- TOILET/BATH ELEVATION GENERAL NOTES**
- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
  - PROVIDE BLOCKING IN WALLS FOR ANCHORING WHERE REQ'D IF NOT EXISTING.
  - ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING & ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
  - PRIME & PAINT ALL GYP. BD. & CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
  - ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.

**RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS**

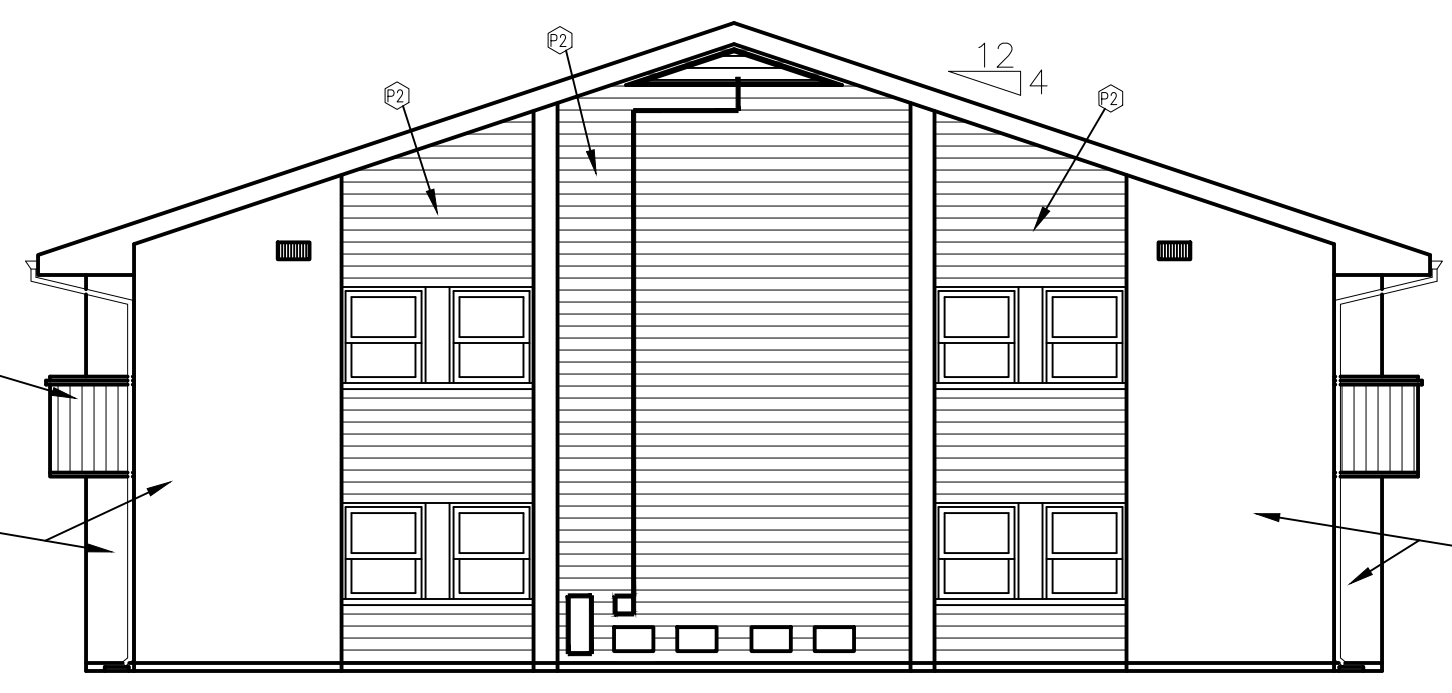
MK.	DATE	DESCRIPTION

DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLV DRAWN: JSM CHECK: BGE

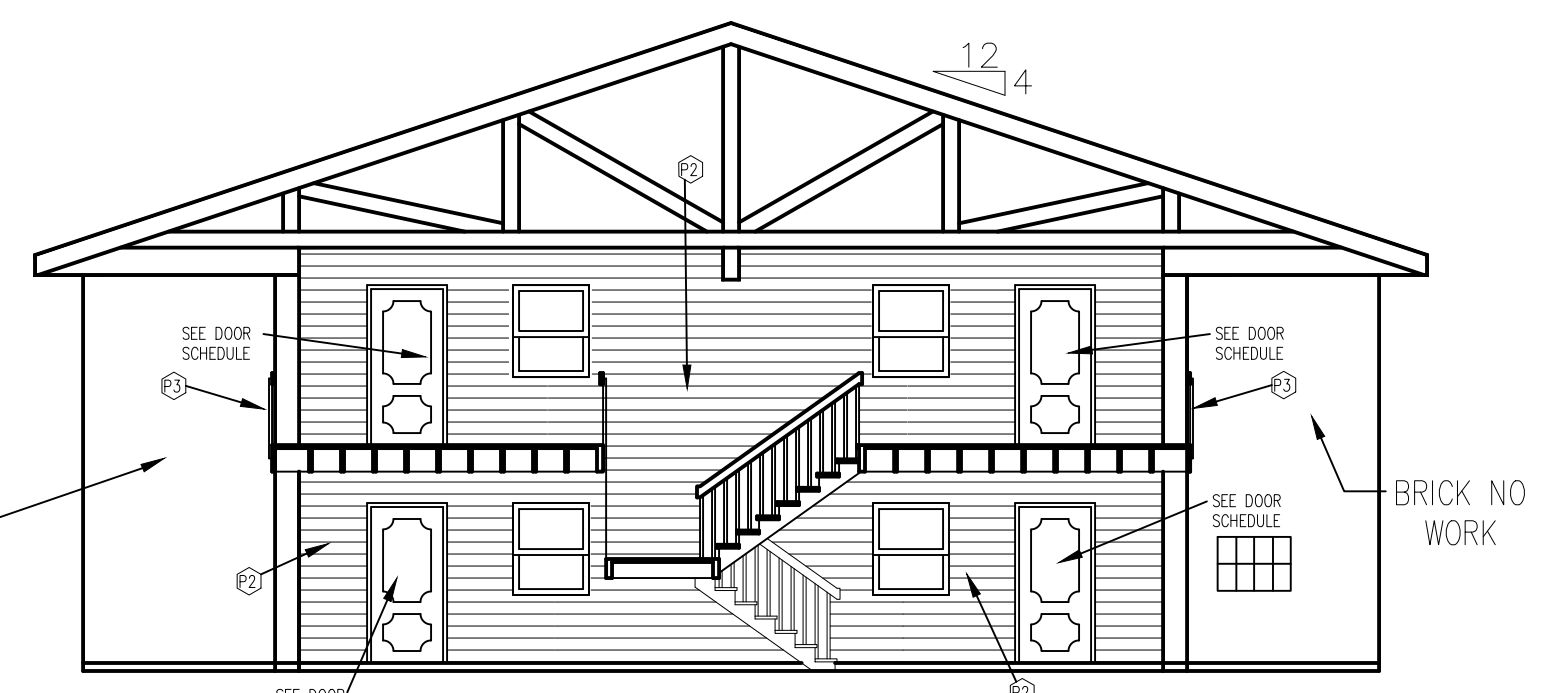
IL30-14 LEBANON  
BUILDING TYPE "B"  
PLANS AND ELEVATIONS



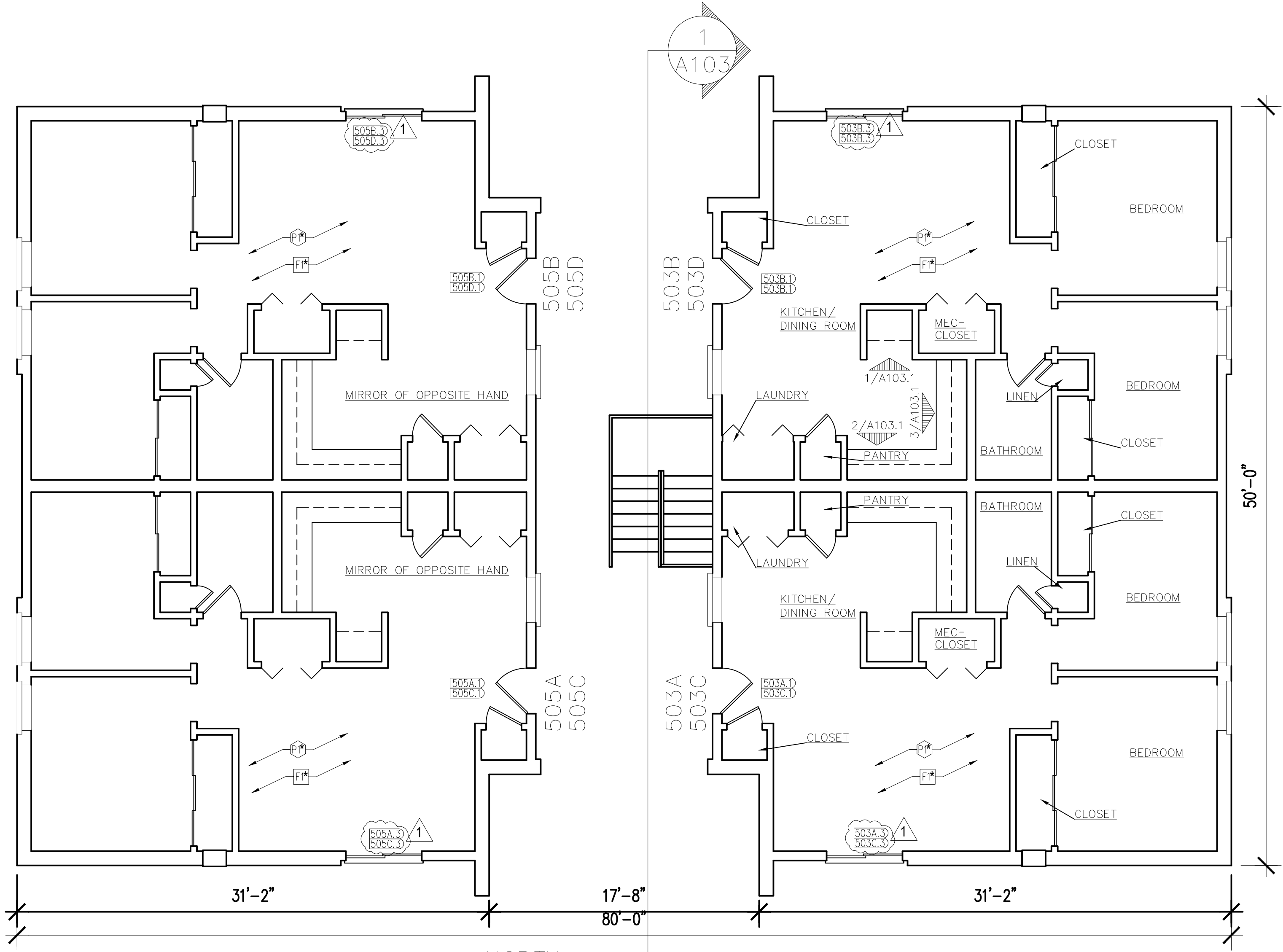
FRONT ELEVATION BLDG. TYPE "C"  
 SCALE: 1/8"=1'-0" (OPPOSITE SIDE REVERSE)



SIDE ELEVATION BLDG. TYPE "C"  
 SCALE: 1/8"=1'-0" (OPPOSITE SIDE REVERSE)



1 BUILDING SECTION  
 A103 SCALE: 1/8"=1'-0"



NORTH  
 FLOOR PLAN BLDG. TYPE "C"  
 SCALE: 1/8"=1'-0"

GENERAL NOTES:

1. REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES - INSTALL NEW AS SHOWN ON A#.01 SHEET FOR BUILDING TYPE, TYPICAL.
2. REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#.01 SHEET FOR BUILDING TYPE, TYPICAL.
3. FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
4. SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
6. COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
7. ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
8. WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
9. ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
10. ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
11. ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
12. PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
13. COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.

FLOORING KEY NOTES [F#]

1. REMOVE AND DISPOSE OF EXISTING FLOORING, BASE AND MASTIC THROUGHOUT UNIT. INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.
- \* = THROUGHOUT UNIT, TYPICAL.

PAINTING KEY NOTES [P#]

1. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL, ALLOW 50SQFT PER DWELLING UNIT.
2. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS & SIDING AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
3. ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.

DOOR SCHEDULE

DOOR NO.	SIZE			DOOR			FRAME			LABEL	H'WARE GROUP	DETAILS			REMARKS
	(F.V.) FIELD VERIFY WIDTH	HEIGHT	THICK	(F.V.) MATERIAL	FINISH	ELEV.	(F.V.) MATERIAL	FINISH	ELEV.			HEAD	JAMB	SILL	
503A.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
503B.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
503C.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
503D.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
505A.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
505B.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
505C.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
505D.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
50#3	PR 2'-6"	6'-8"	---	---	---	---	---	---	---	---	1	A	B&C	---	(8) REQ'D

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.

SIGNATURE  
 xx-xx-2025  
 DATE  
 11-30-2026  
 LICENSE EXPIRES

RAD RENOVATION SILVER CREEK MANOR  
 AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
 ST. CLAIR COUNTY HOUSING AUTHORITY  
 ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION
1	4/22/25	ADDENDUM - 1

DATE: 04-14-2025  
 PROJECT NO: 280-0385  
 DESIGN: JLV DRAWN: JSM CHECK: BGE

IL30-14 LEBANON  
 BUILDING TYPE "C"  
 PLANS AND ELEVATIONS

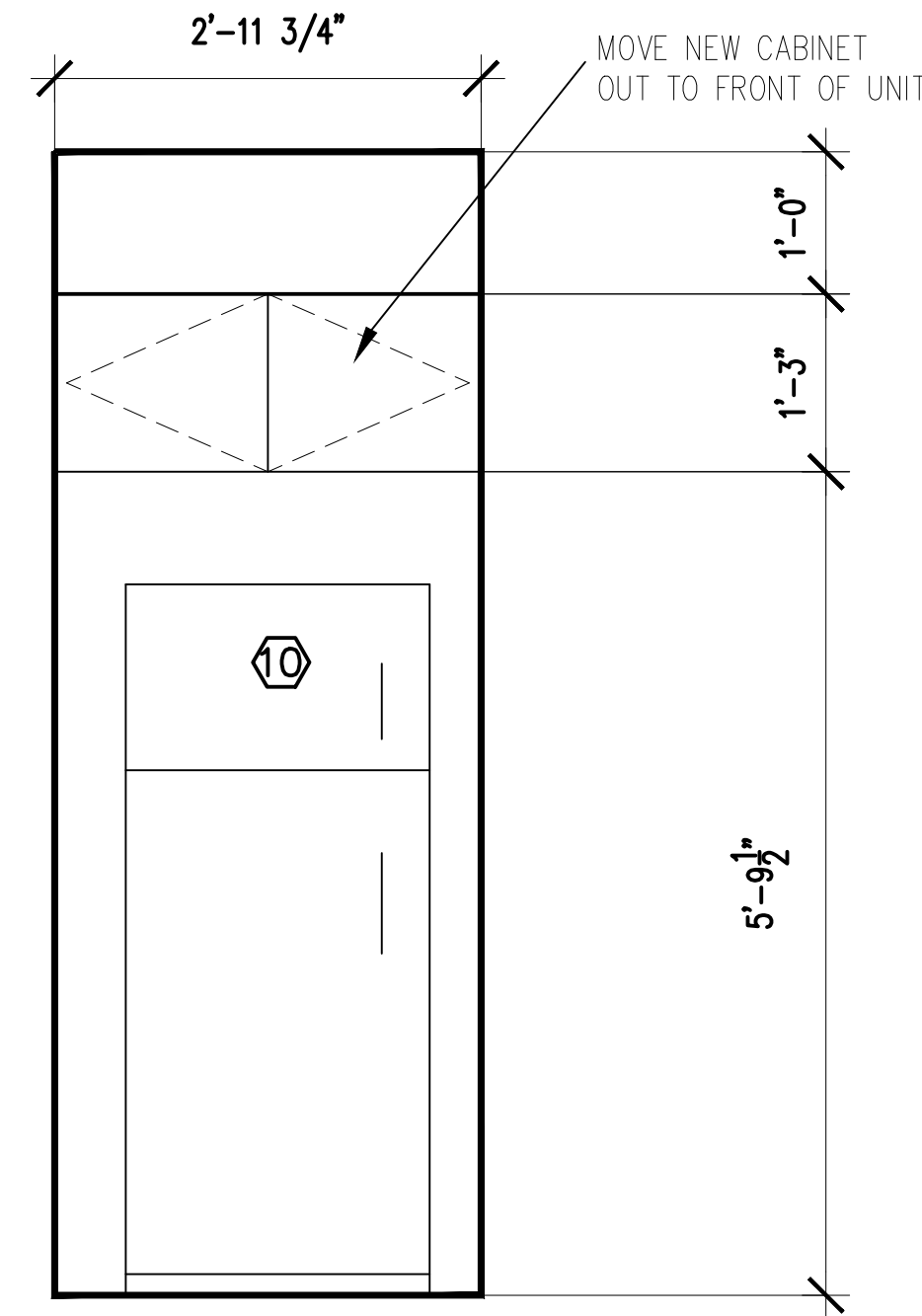
A103



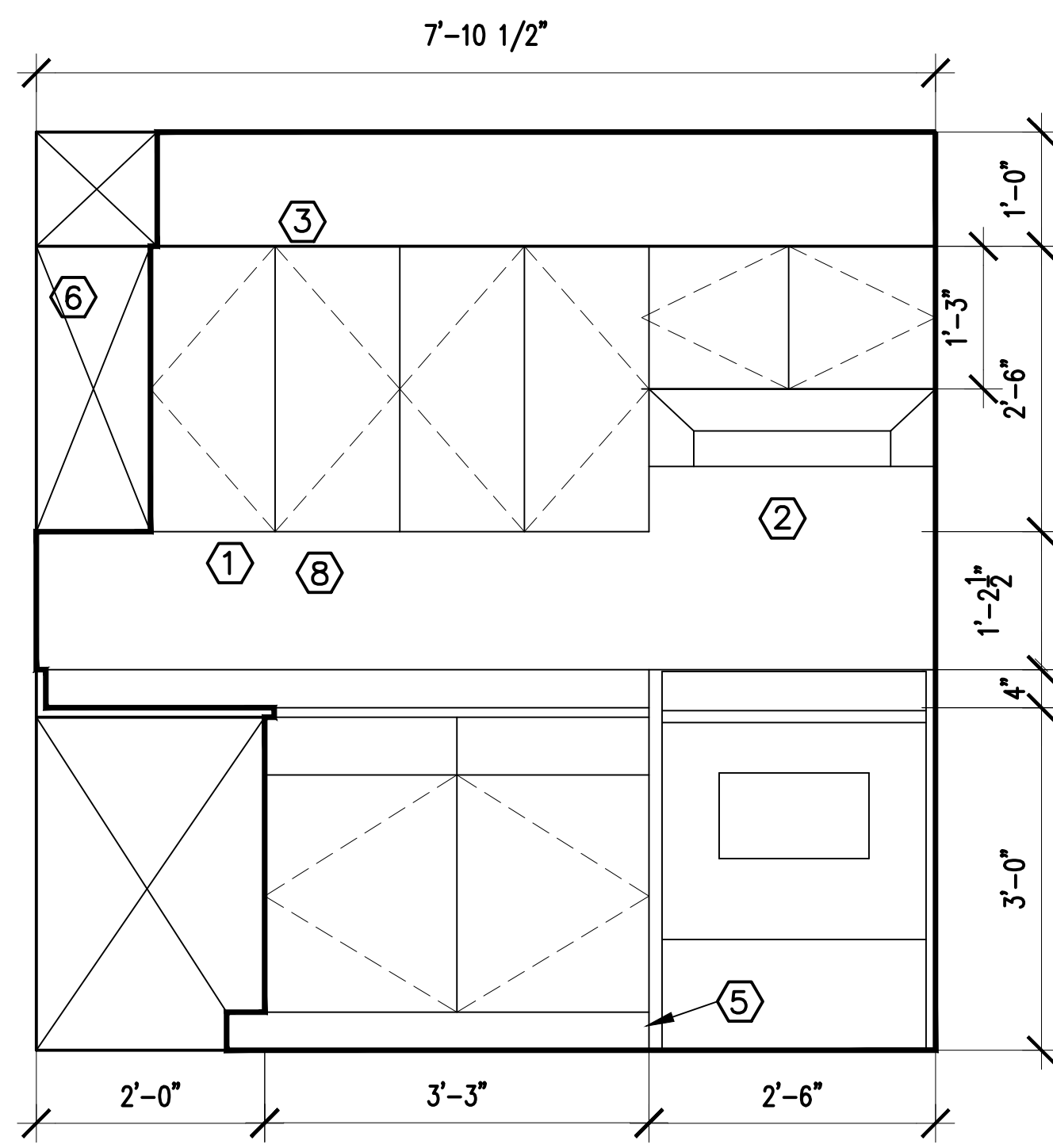
Hurst-Rosche, Inc.  
PROFESSIONAL DESIGN NUMBER: 184-000298

1400 E. TREMONT STREET  
HILLSBORO, IL  
PH: 217.532.3959  
www.hurst-rosche.com  
EAST ST. LOUIS, IL  
MARION, IL  
ARNOLD, MO  
NASHVILLE, TN  
SPRINGFIELD, IL

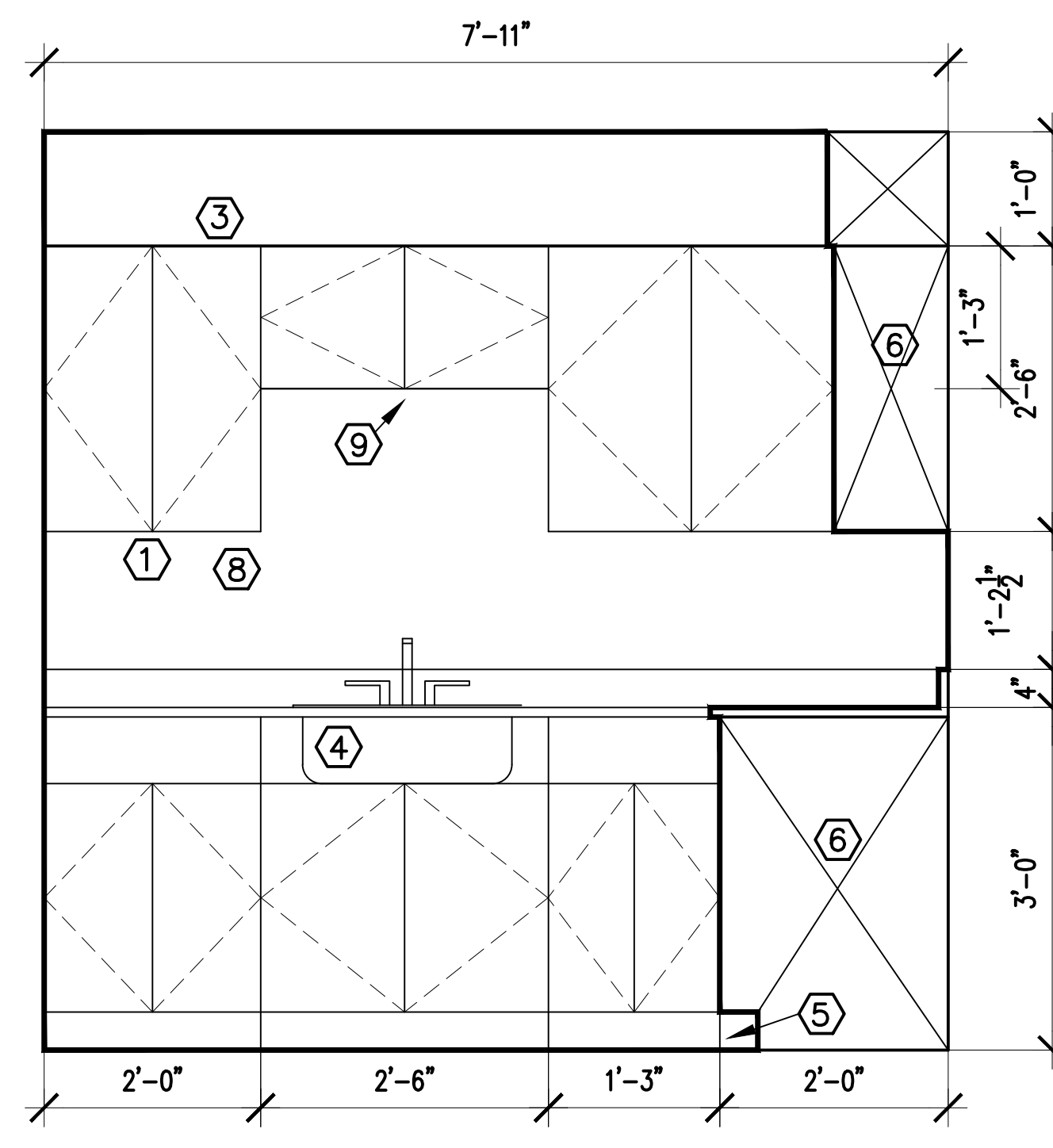
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xx-xx-2025  
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11-30-2026  
LICENSE EXPIRES



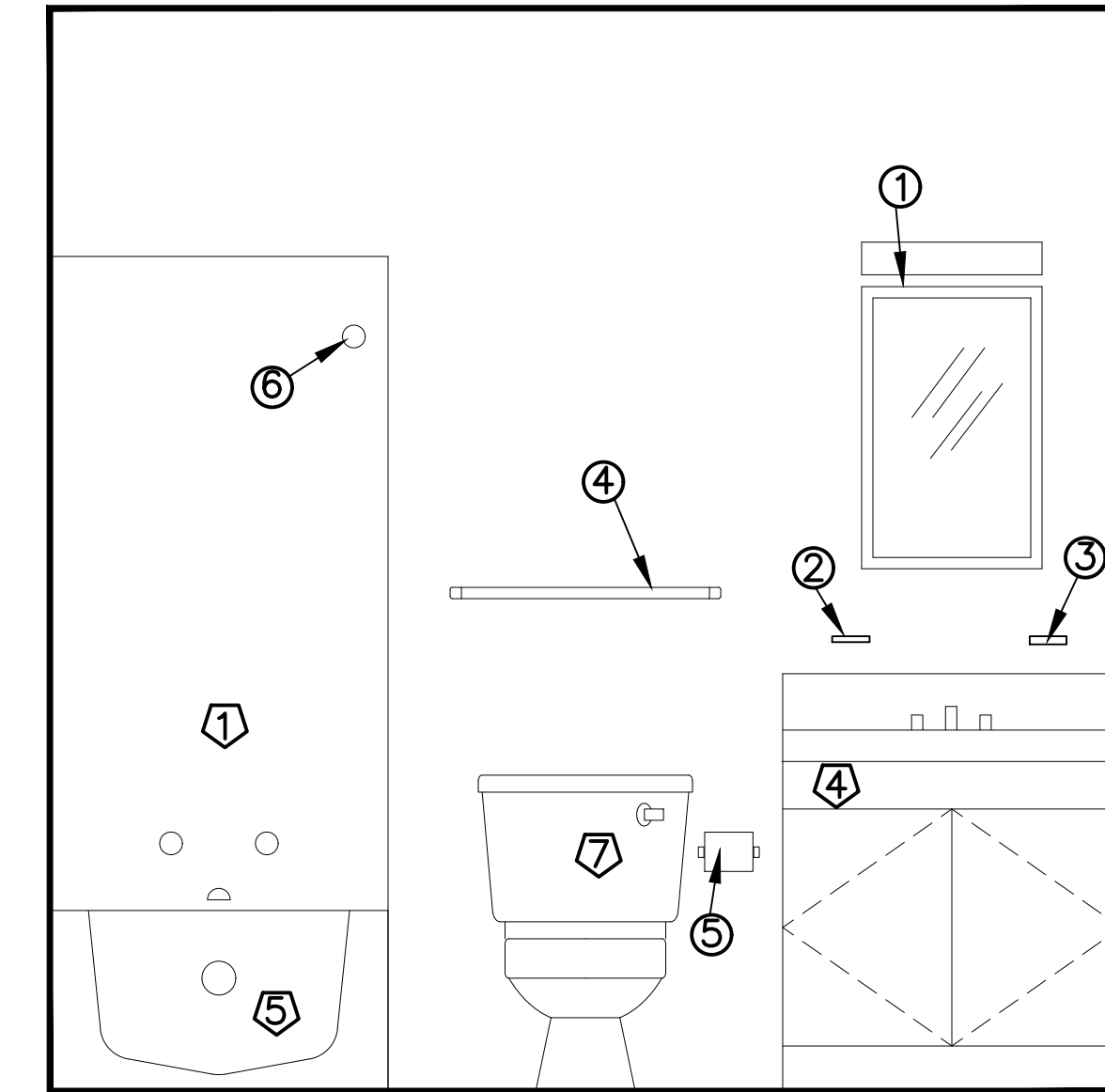
1 CASEWORK ELEV.  
A103.1 SCALE: 3/4"=1'-0"



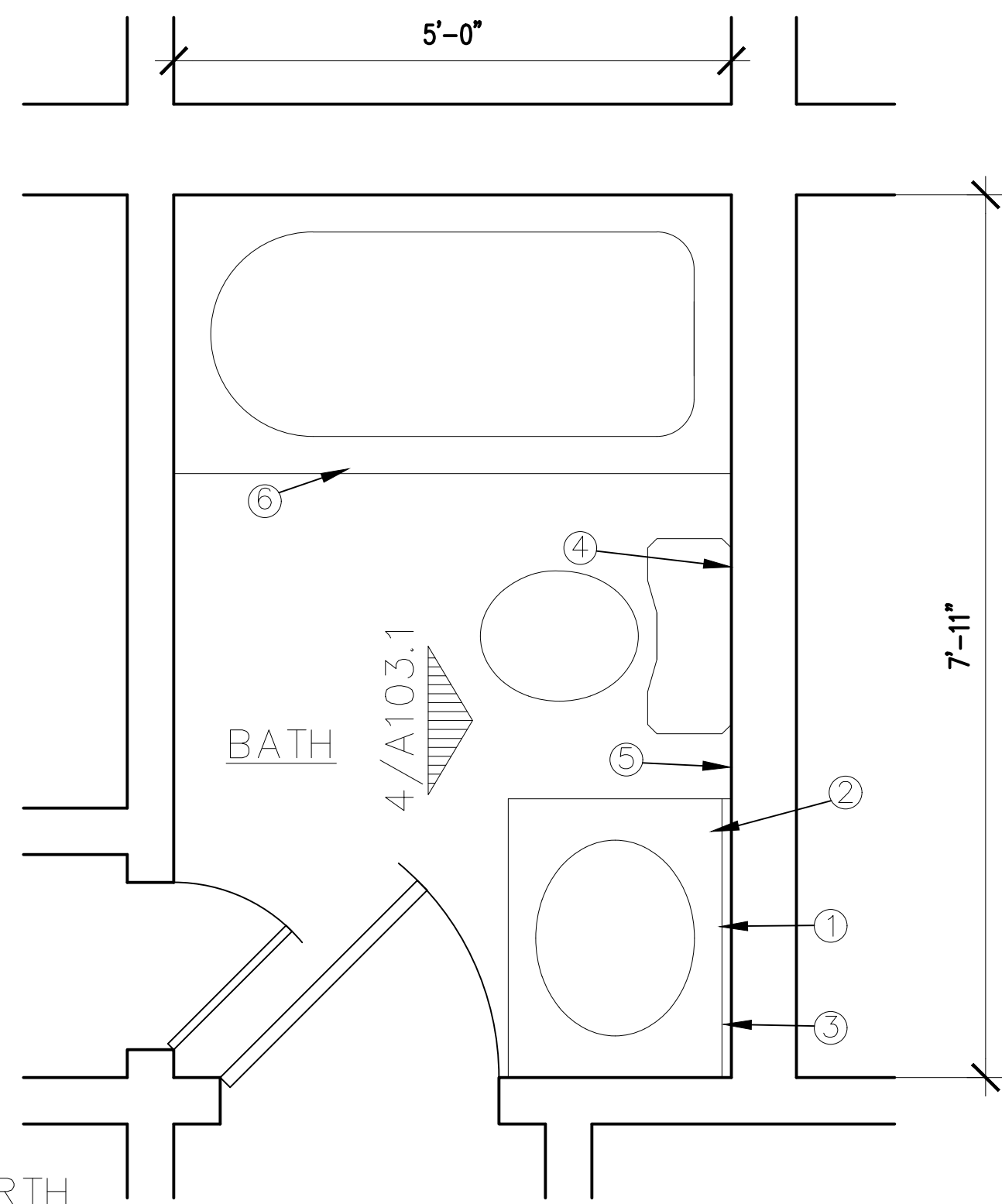
2 CASEWORK ELEV.  
A103.1 SCALE: 3/4"=1'-0"



3 CASEWORK ELEV.  
A103.1 SCALE: 3/4"=1'-0"



4 BATHROOM ELEV.  
A103.1 SCALE: 3/4"=1'-0"



NORTH  
ENLARGED BATHROOM PLAN  
SCALE: 1/4"=1'-0"

- TOILET/BATH KEY NOTES** #
- TUB/SHOWER SURROUND W/CORNER SHELVING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 3/8" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
  - LIGHT FIXTURE - COORD. WITH ELECTRICAL
  - 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
  - VANITY CABINET W/CULTURED MARBLE. TOP W/INTEGRAL SINK.
  - NEW TUB. - COORD. WITH PLUMBING
  - ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL, THROUGHOUT UNIT, TYPICAL.
  - NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
  - NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.

- TOILET/BATH ELEVATION GENERAL NOTES**
- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
  - PROVIDE BLOCKING IN WALLS FOR ANCHORING ALL ACCESSORIES WHERE REQ'D IF NOT EXISTING.
  - ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING & ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
  - PRIME & PAINT ALL GYP. BD. & CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
  - ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.

- KITCHEN KEYED NOTES** #
- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
  - NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
  - EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
  - SINK BASE CABINET.
  - 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
  - FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
  - FINISHED FILLER TO MATCH CABINET FINISH
  - WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
  - UNDER CABINET LIGHT. COORDINATE w/ ELECTRICAL. INSTALL ON CABINET SURFACE.
  - REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.

- KITCHEN GENERAL NOTES**
- COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
  - GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
  - DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
  - COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
  - FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
  - PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
  - INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
  - INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
  - INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
  - PROVIDE BACKSPLASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
  - ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
  - INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

**TOILET/BATH ACCESSORIES SCHEDULE** #

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2	SD	SOAP DISH	40" TO TOP	---
3	CH	CUP HOLDER	40" TO TOP	---
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	---
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	---
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	---
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	---
8	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	---

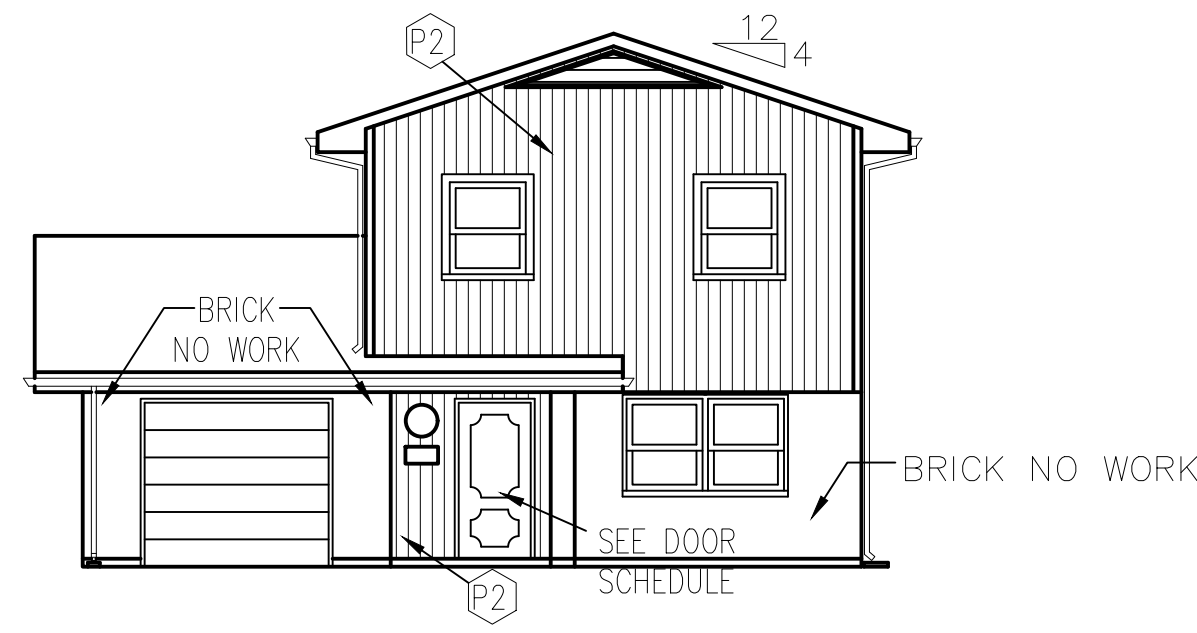
RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

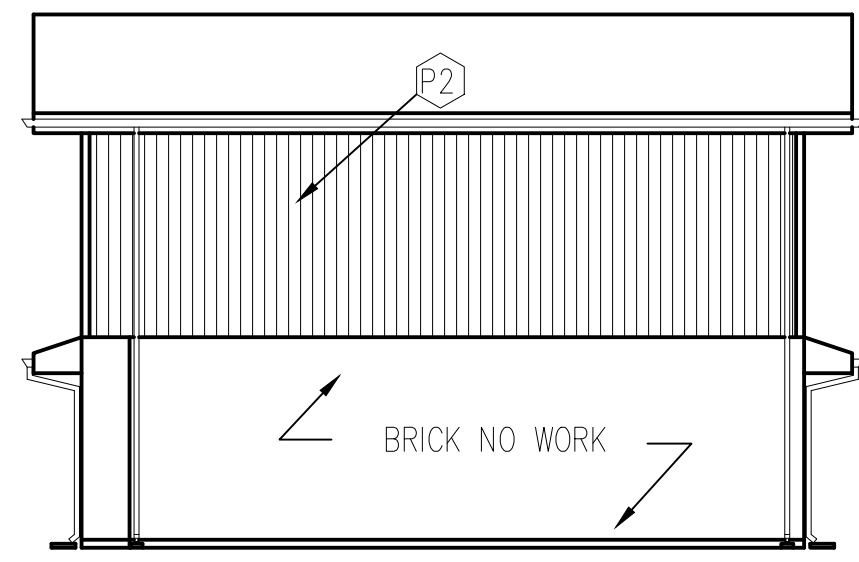
DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLV DRAWN: JSM CHECK: BGE

IL30-14 LEBANON  
BUILDING TYPE "C"  
PLANS AND ELEVATIONS

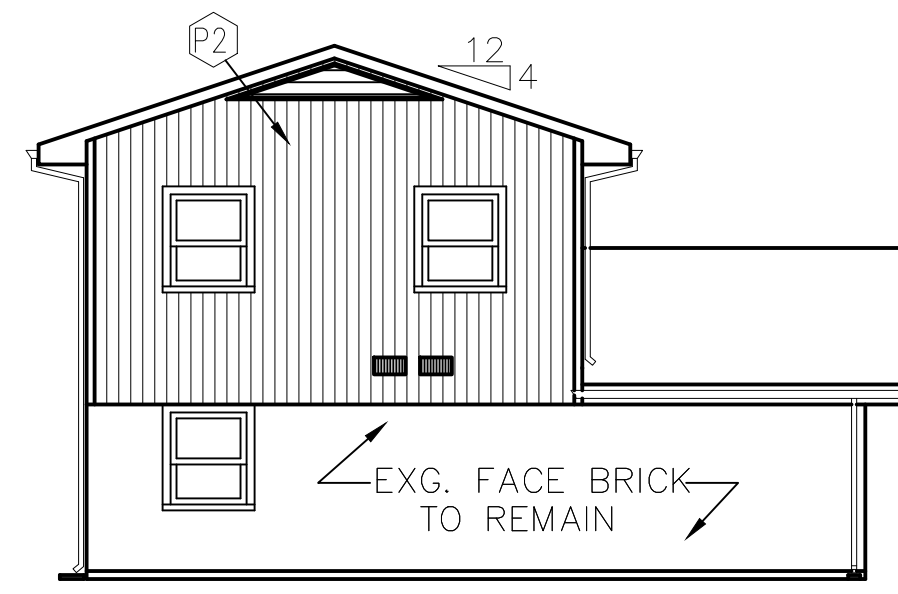
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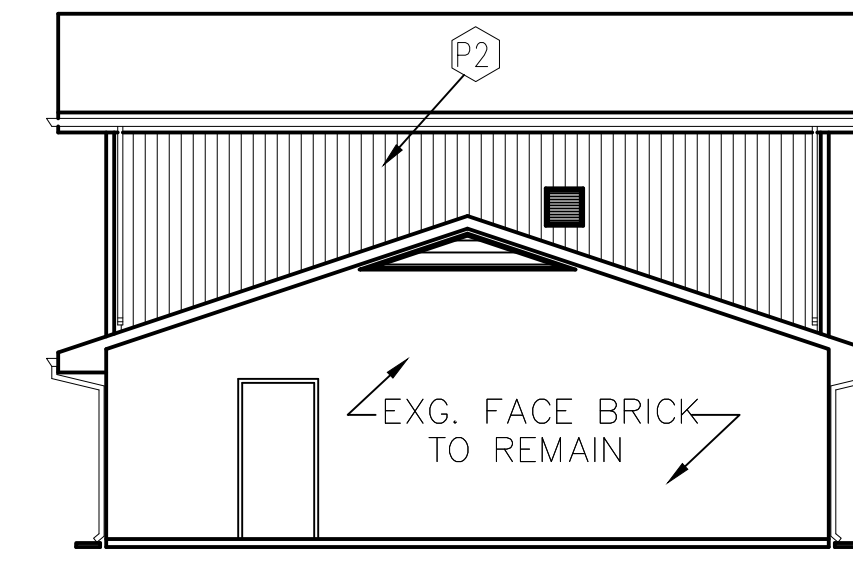
FRONT ELEVATION BLDG. TYPE "D"  
SCALE: 1/8"=1'-0"



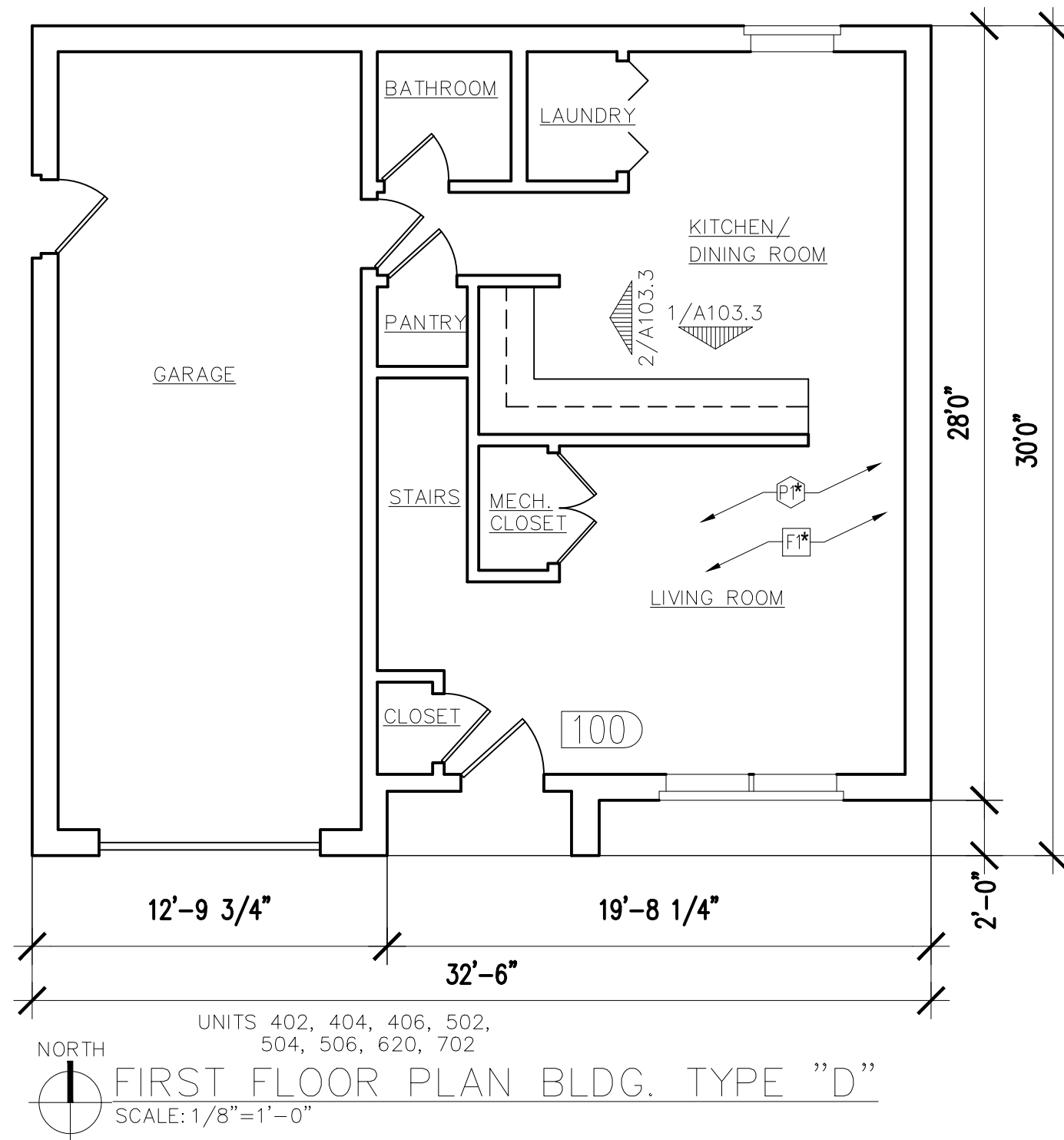
SIDE ELEVATION BLDG. TYPE "D"  
SCALE: 1/8"=1'-0"



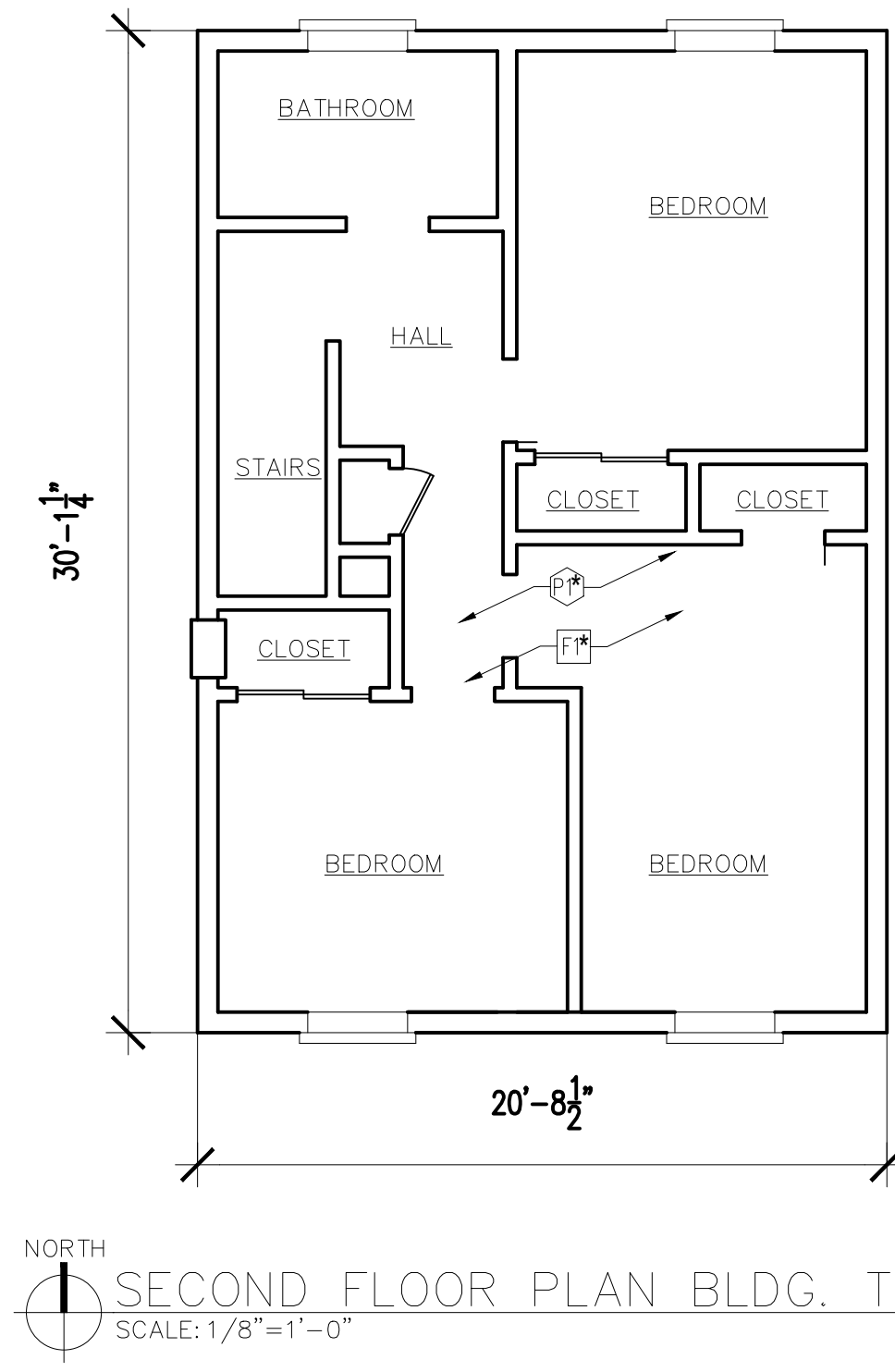
REAR ELEVATION BLDG. TYPE "D"  
SCALE: 1/8"=1'-0"



SIDE ELEVATION BLDG. TYPE "D"  
SCALE: 1/8"=1'-0"



FIRST FLOOR PLAN BLDG. TYPE "D"  
SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN BLDG. TYPE "D"  
SCALE: 1/8"=1'-0"

GENERAL NOTES:

- REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES - INSTALL NEW AS SHOWN ON A#.01 SHEET FOR BUILDING TYPE, TYPICAL.
- REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#.01 SHEET FOR BUILDING TYPE, TYPICAL.
- FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
- COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
- ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
- WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
- ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
- ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
- ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
- PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
- COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.

FLOORING KEY NOTES [F#]

- REMOVE AND DISPOSE OF EXISTING FLOORING, BASE AND MASTIC THROUGHOUT UNIT. INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.
- \* = THROUGHOUT UNIT, TYPICAL.

PAINTING KEY NOTES [P#]

- REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH) @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL, ALLOW 50SQFT PER DWELLING UNIT.
- REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS & SIDING AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
- ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.

DOOR NO.	SIZE		DOOR		FRAME		LABEL	H'WARE GROUP	DETAILS			REMARKS		
	(F.V.) FIELD VERIFY SIZES AND THICKNESS		(F.V.) MATERIAL		(F.V.) MATERIAL				HEAD	JAMB	SILL			
	WIDTH	HEIGHT	THICK	FINISH	ELEV.	FINISH							ELEV.	
402/100	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---
404/100	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---
406/100	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---
502/100	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---
504/100	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---
506/100	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---
620/100	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---
702/100	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.



Hurst-Rosche, Inc.  
PROFESSIONAL DESIGN NUMBER: 184-002098  
1400 E. TREMONT STREET  
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EAST ST. LOUIS, IL  
MARION, IL  
ARNOLD, MO  
NASHVILLE, TN  
SPRINGFIELD, IL

SIGNATURE  
xx-xx-2025  
DATE  
11-30-2026  
LICENSE EXPIRES

RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION
1	4/22/25	ADDENDUM - 1

DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLV DRAWN: JSM CHECK: BGE

IL30-14 LEBANON  
BUILDING TYPE "D"  
PLANS AND ELEVATIONS

A103.2



Hurst-Rosche, Inc.  
PROFESSIONAL DESIGN NUMBER: 184-002028

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11-30-2026  
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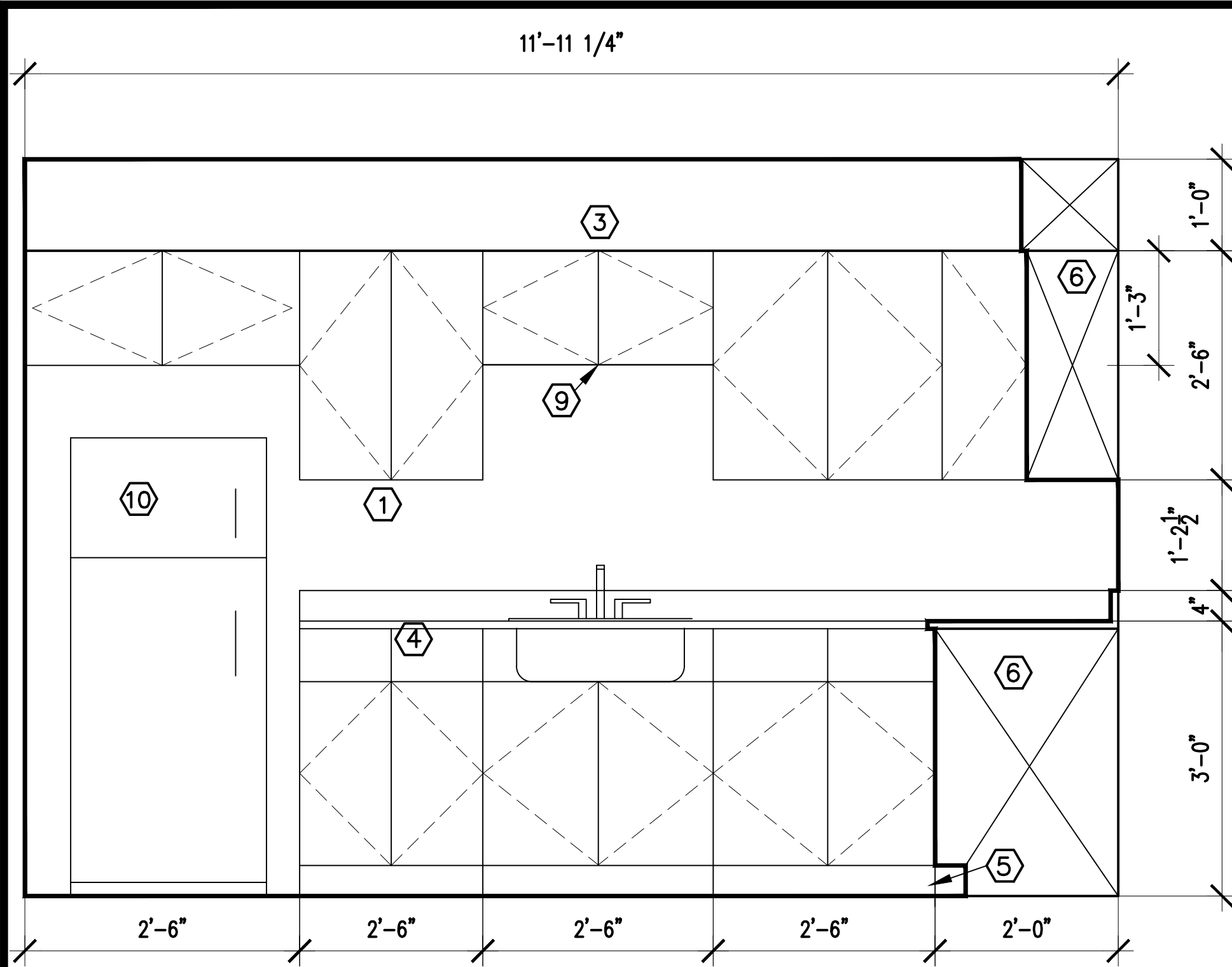
RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION
1	4/22/25	ADDENDUM - 1

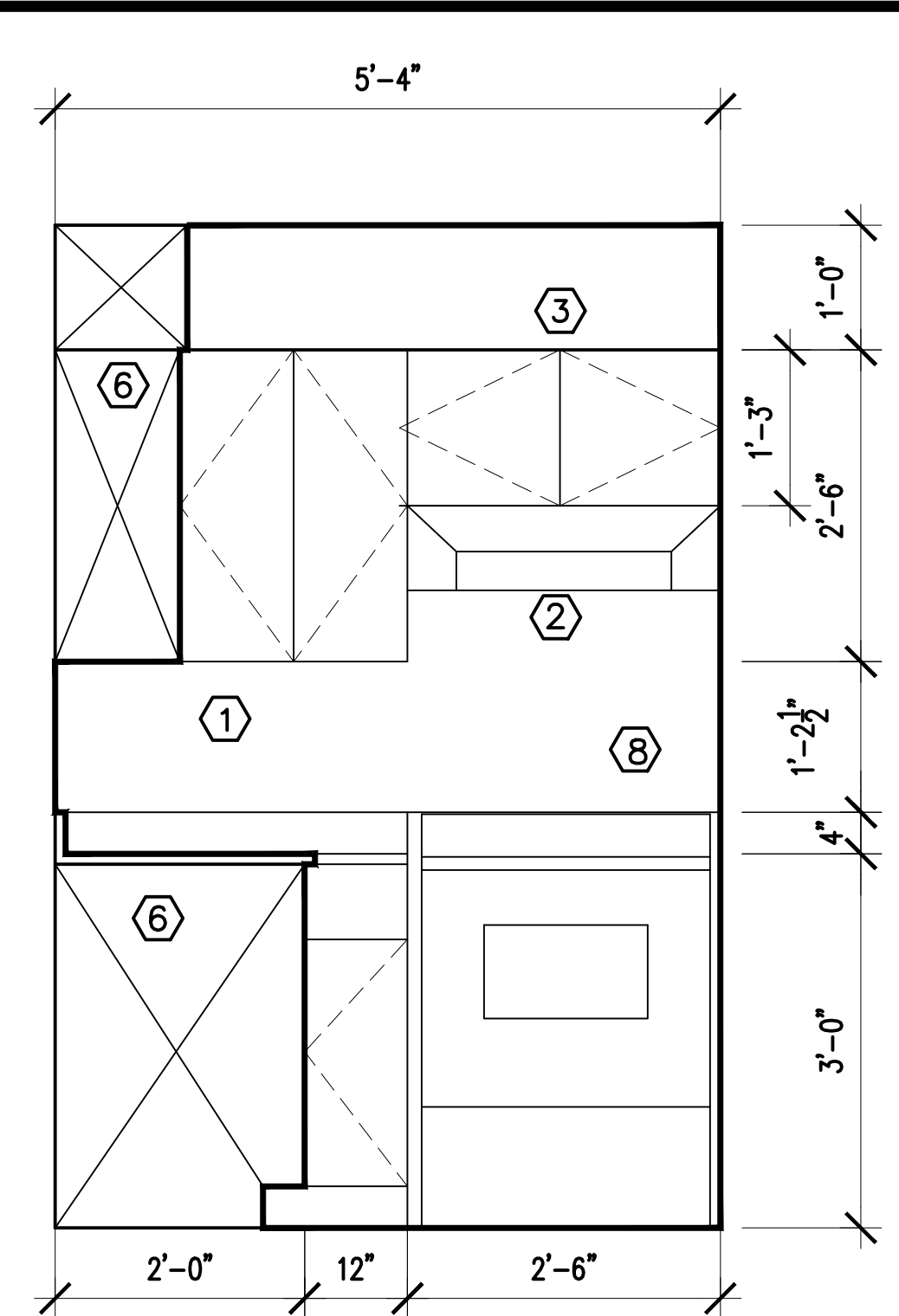
DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLW DRAWN: JSM CHECK: BGE

IL30-14 LEBANON  
BUILDING TYPE "D"  
PLANS AND ELEVATIONS

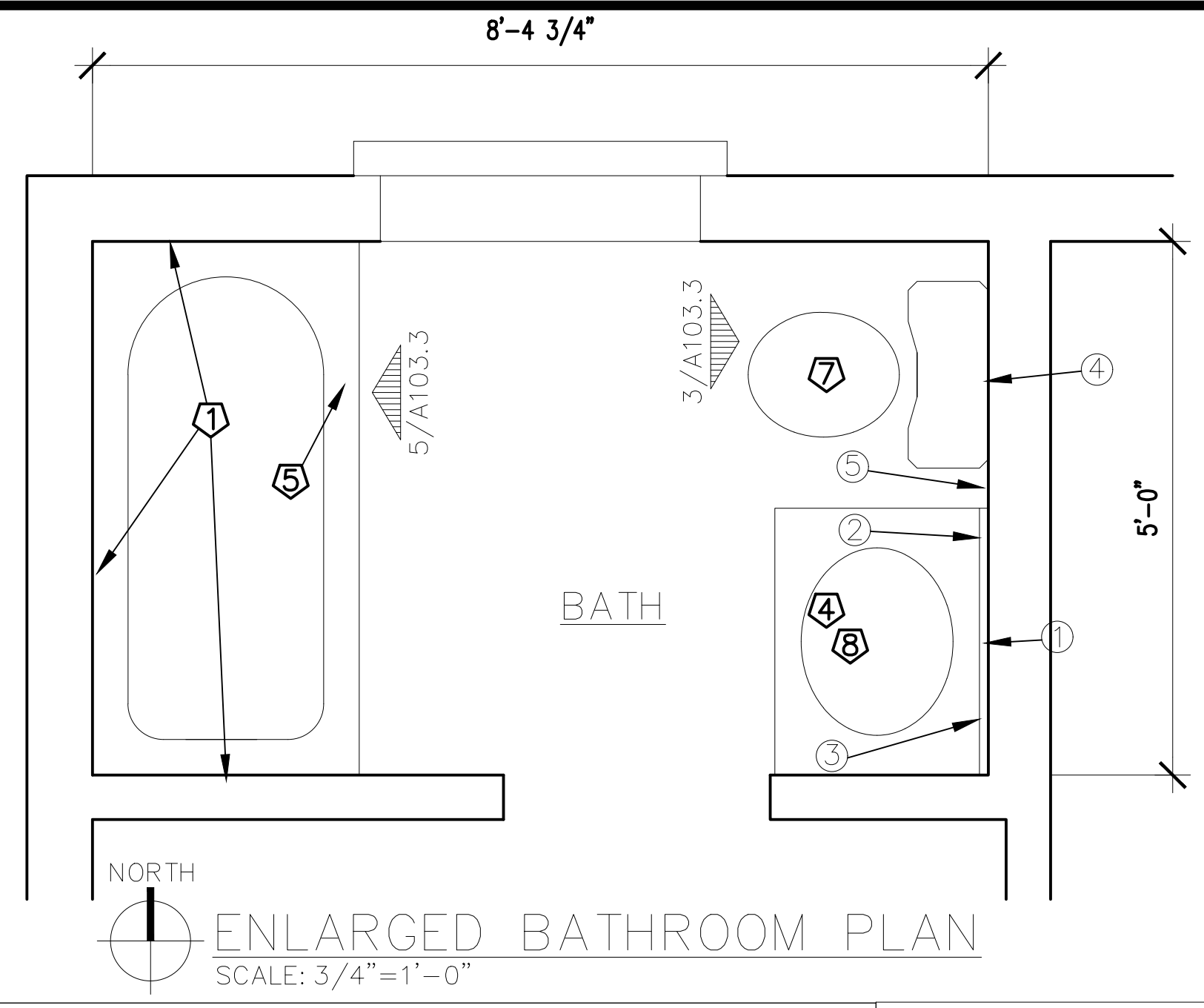
A103.3



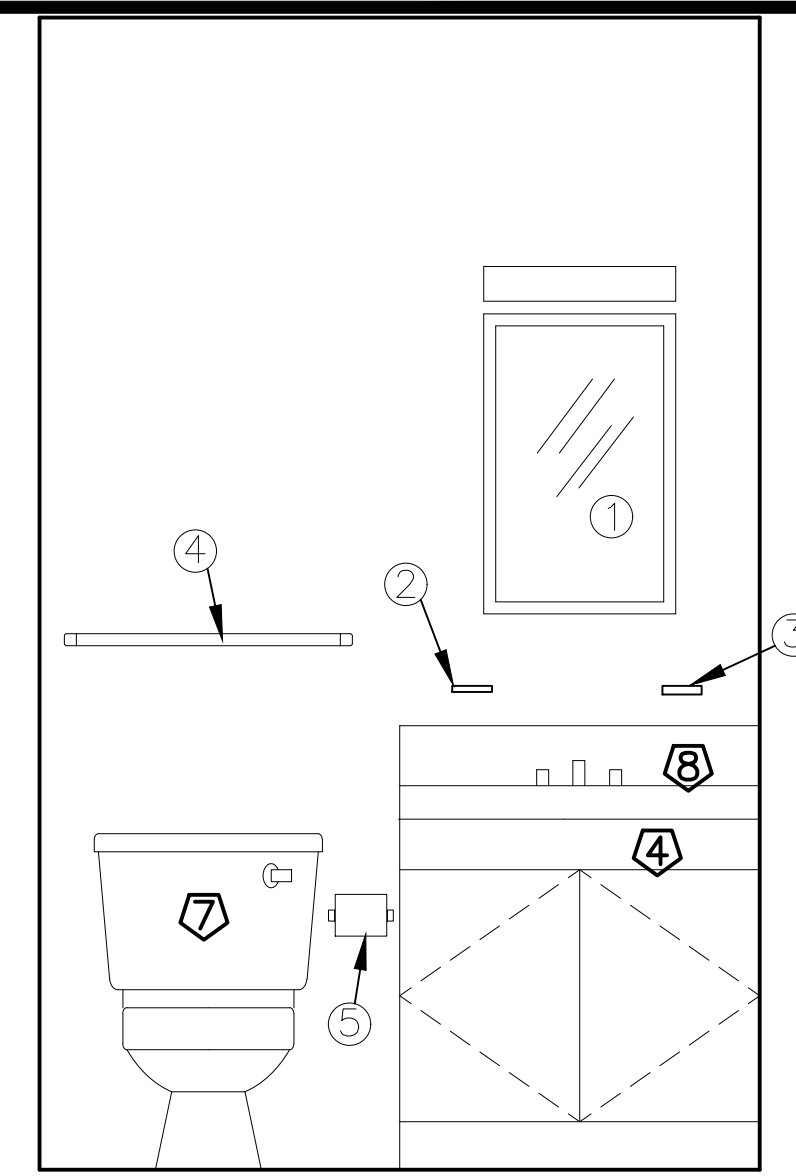
1 CASEWORK ELEV.  
A103.3 SCALE: 3/4"=1'-0"



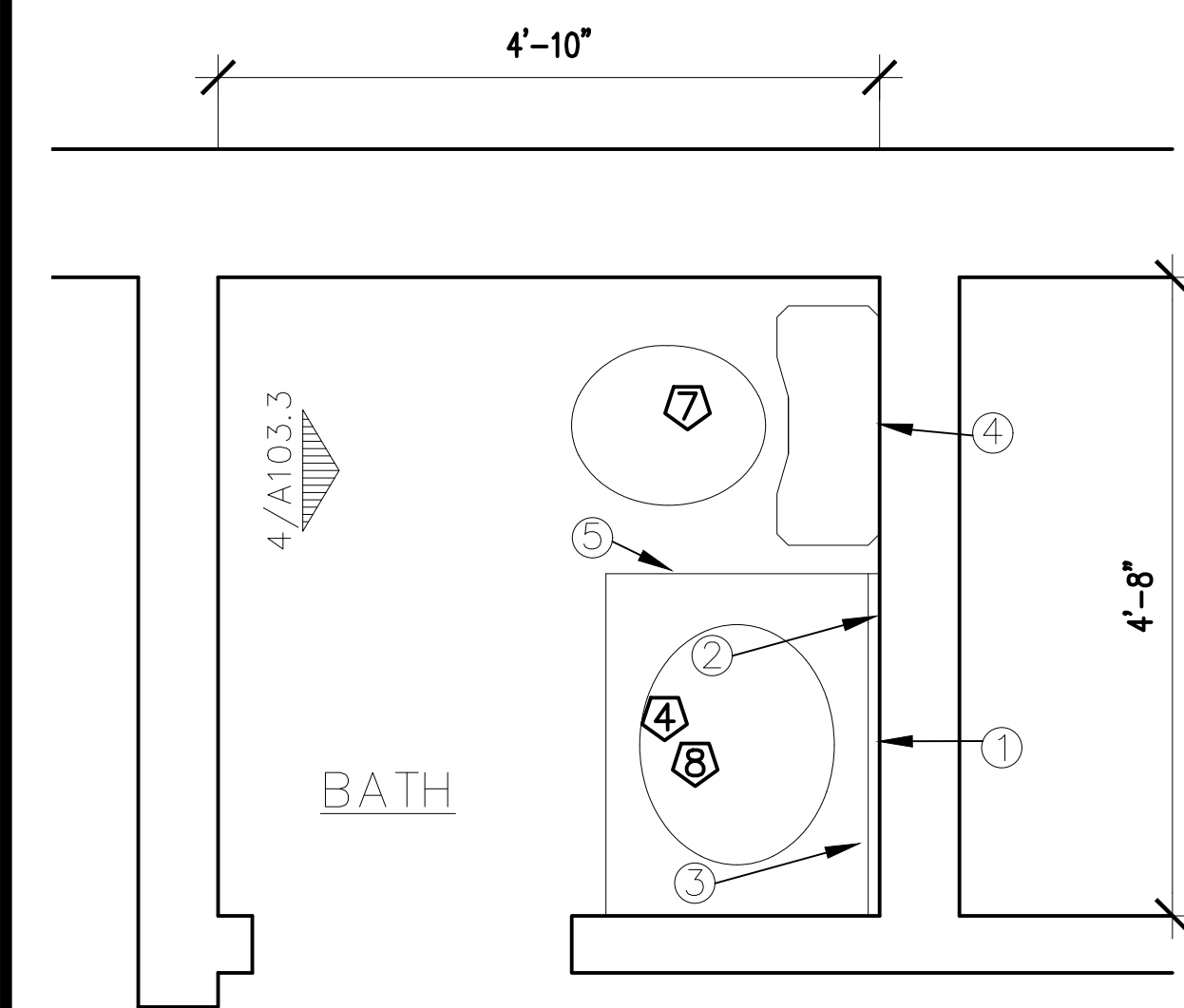
2 CASEWORK ELEV.  
A103.3 SCALE: 3/4"=1'-0"



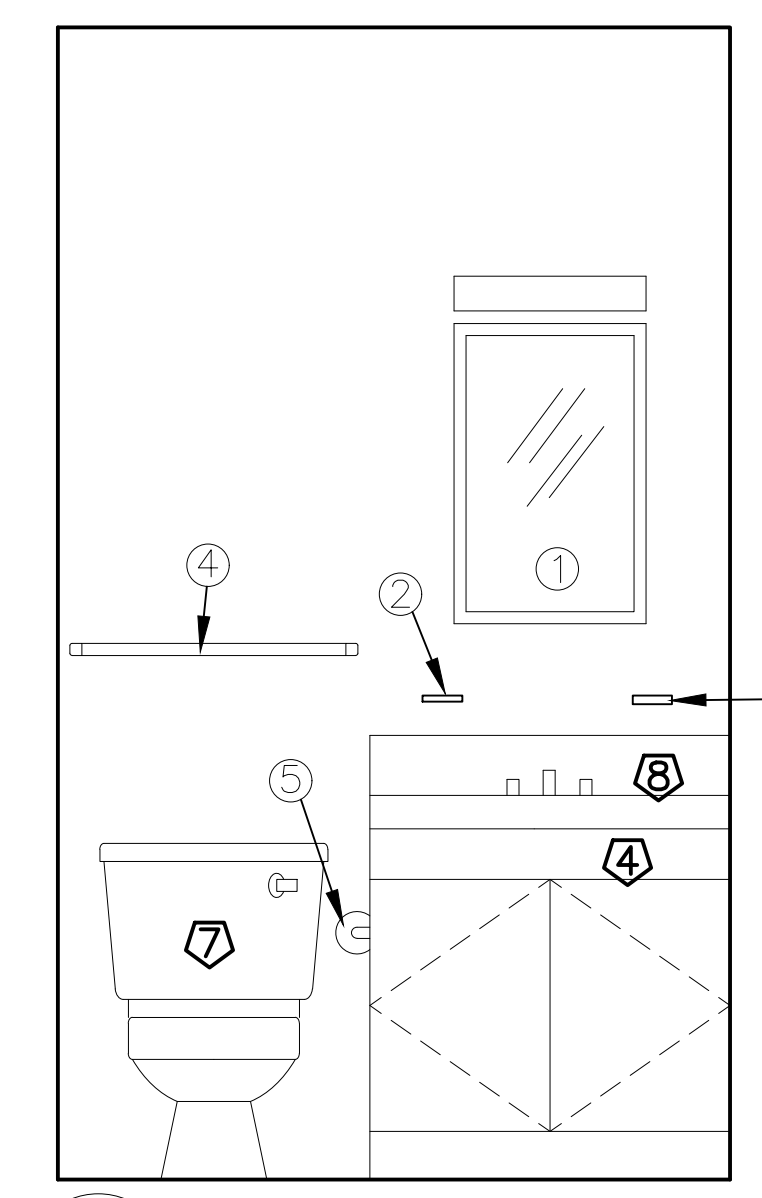
ENLARGED BATHROOM PLAN  
SCALE: 3/4"=1'-0"



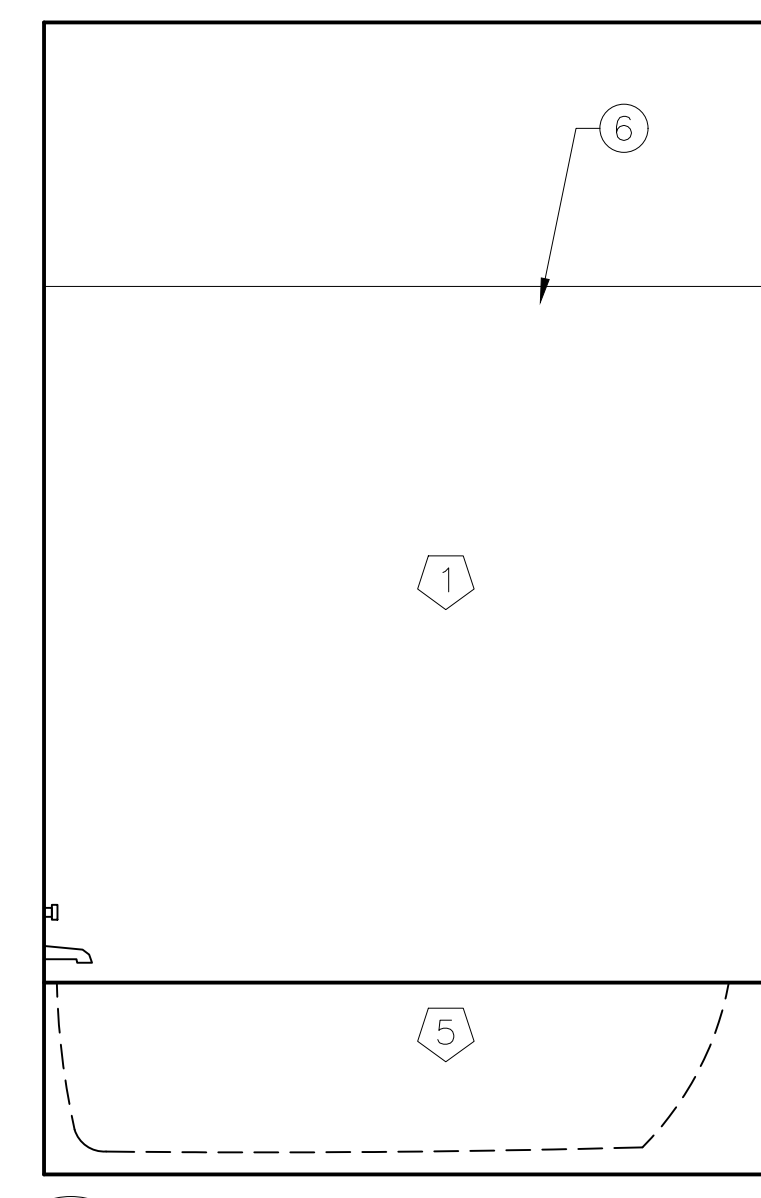
3 BATHROOM ELEV.  
A103.3 SCALE: 3/4"=1'-0"



ENLARGED BATHROOM PLAN  
SCALE: 1/4"=1'-0"



4 CASEWORK ELEV.  
A103.3 SCALE: 3/4"=1'-0"



5 BATHROOM ELEV.  
A103.3 SCALE: 3/4"=1'-0"

KITCHEN KEYED NOTES

- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
- NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
- EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
- SINK BASE CABINET.
- 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
- FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
- FINISHED FILLER TO MATCH CABINET FINISH
- WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
- UNDER CABINET LIGHT. COORDINATE W/ ELECTRICAL. INSTALL ON CABINET SURFACE.
- REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.

KITCHEN GENERAL NOTES

- COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
- GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
- DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
- COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
- FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
- INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
- INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
- INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
- PROVIDE BACKSPLASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
- ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
- INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

TOILET/BATH KEY NOTES #

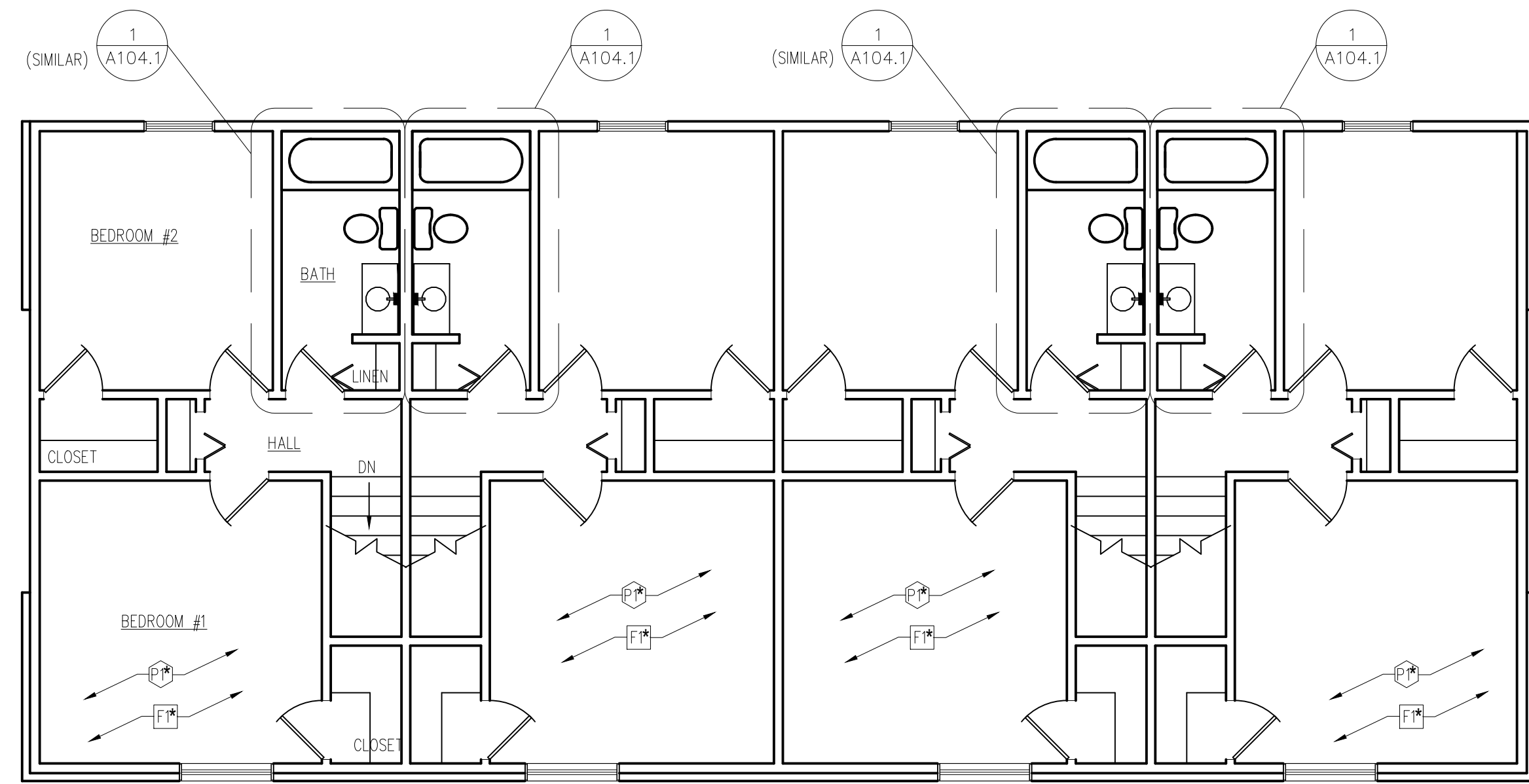
- TUB/SHOWER SURROUND W/CORNER SHELVING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 3/8" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
- LIGHT FIXTURE - COORD. WITH ELECTRICAL
- 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
- VANITY CABINET W/CULTURED MARBLE. TOP W/INTEGRAL SINK.
- NEW TUB. - COORD. WITH PLUMBING
- ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL, THROUGHOUT UNIT, TYPICAL.
- NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
- NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.

TOILET/BATH ELEVATION GENERAL NOTES

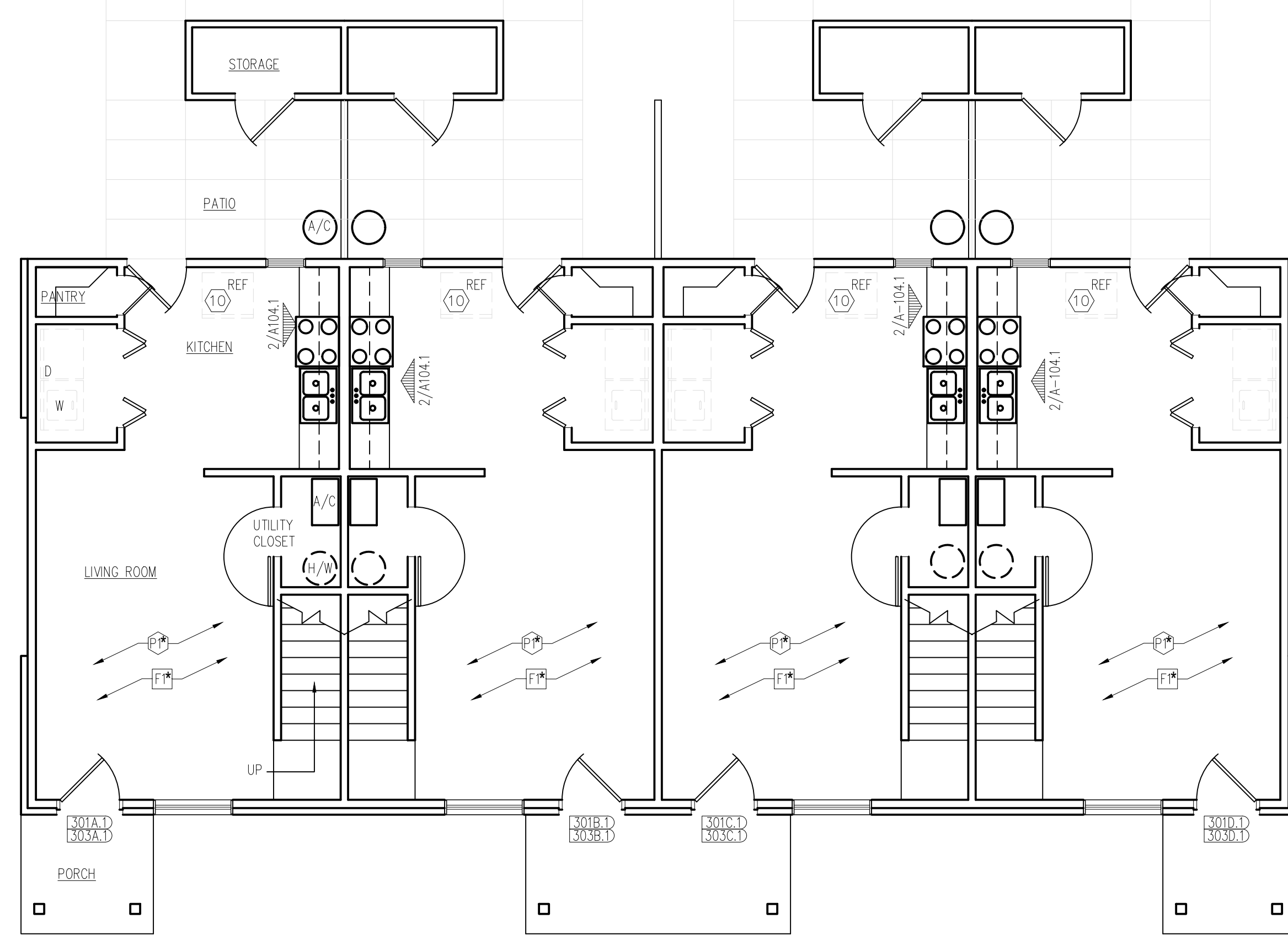
- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
- PROVIDE BLOCKING IN WALLS FOR ANCHORING ALL ACCESSORIES WHERE REQUIRED IF NOT EXISTING.
- ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING AND ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
- PRIME AND PAINT ALL GYPSUM BOARD AND CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
- ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.

TOILET/BATH ACCESSORIES SCHEDULE # REMARKS

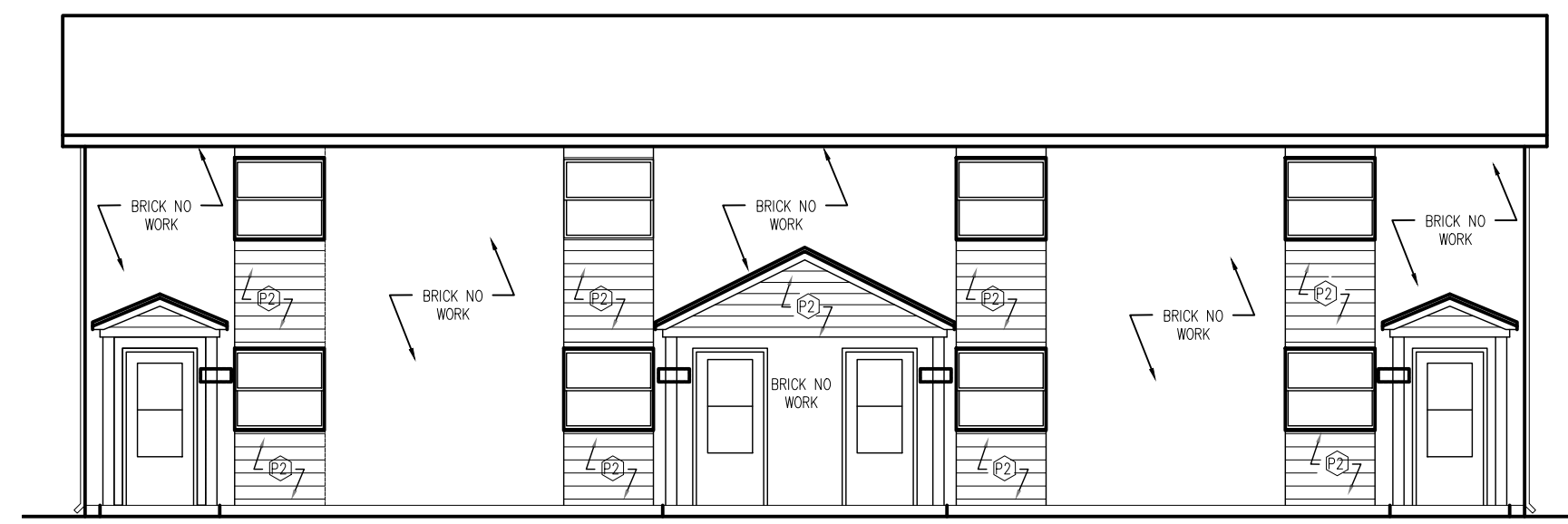
#	ITEM	DESCRIPTION	MOUNTING (A.F.F.)	REMARKS
1	M	WALL MOUNTED MIRROR (18" x 30")	40" TO BOTTOM	--
2	SD	SOAP DISH	40" TO TOP	--
3	CH	CUP HOLDER	40" TO TOP	--
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	--
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	--
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	--
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--
8	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--



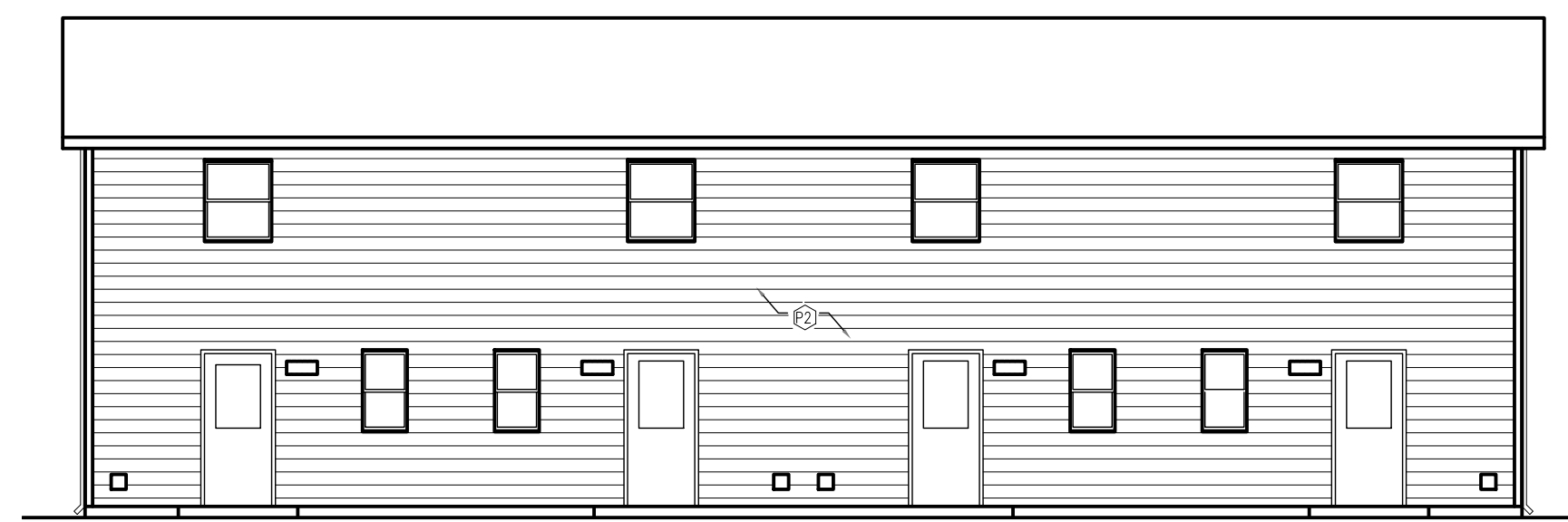
SECOND FLOOR PLAN – BUILDING TYPE "A"  
SCALE: 3/16" = 1'-0" (301 AND 303)



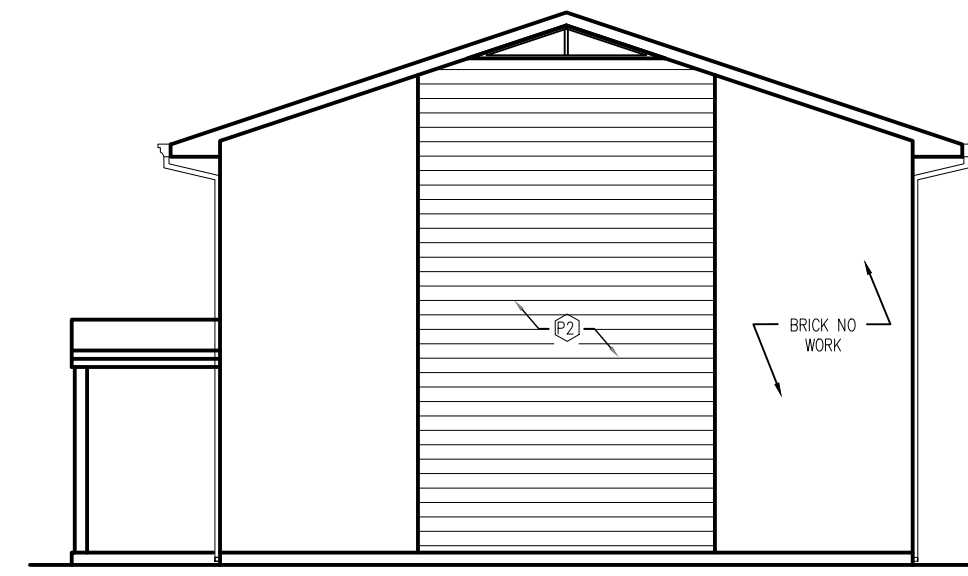
FIRST FLOOR PLAN – BUILDING TYPE "A"  
SCALE: 3/16" = 1'-0" (301 AND 303)



FRONT ELEVATION – BLDG. TYPE "A" 301 & 303  
SCALE: 1/8"=1'-0" (TYP. OF 2 BLDGS.)



REAR ELEVATION – BLDG. TYPE "A" 301 & 303  
SCALE: 1/8"=1'-0" (TYP. OF 2 BLDGS.)



SIDE ELEVATION – BLDG. TYPE "A" 301 & 303  
SCALE: 1/8"=1'-0" OPPOSITE SIDE IS A MIRROR IMAGE (TYP. OF 2 BLDGS.)

FLOORING KEY NOTES [F#]

- REMOVE AND DISPOSE OF EXISTING FLOORING, BASE AND MASTIC THROUGHOUT UNIT. INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.  
\* = THROUGHOUT UNIT, TYPICAL.

PAINTING KEY NOTES [P#]

- REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL, ALLOW 50SQFT PER DWELLING UNIT.  
\* = THROUGHOUT UNIT, TYPICAL.
- REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS & SIDING AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
- ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.

GENERAL NOTES:

- REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES – INSTALL NEW AS SHOWN ON A#\_01 SHEET FOR BUILDING TYPE, TYPICAL.
- REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#\_01 SHEET FOR BUILDING TYPE, TYPICAL.
- FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
- COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
- ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
- WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
- ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
- ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
- ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
- PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
- COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.

DOOR NO.	SIZE			DOOR	FRAME	LABEL	H'WARE GROUP	DETAILS			REMARKS				
	(F.V.) FIELD VERIFY SIZES AND THICKNESS							FINISH	ELEV.	FINISH		ELEV.	HEAD	JAMB	SILL
	WIDTH	HEIGHT	THICK												
301A.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
301B.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
301C.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
301D.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
303A.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
303B.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
303C.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
303D.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.

**HR**  
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SIGNATURE xx-xx-2025  
DATE 11-30-2026  
LICENSE EXPIRES

RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION
1	4/22/25	ADDENDUM - 1

DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLV DRAWN: JSM CHECK: BGE

IL30-24 O'FALLON  
BUILDING TYPE "A"  
PLANS AND ELEVATIONS

**A104**



Hurst-Rosche, Inc.  
PROFESSIONAL DESIGN NUMBER: 184-00298

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11-30-2026  
LICENSE EXPIRES

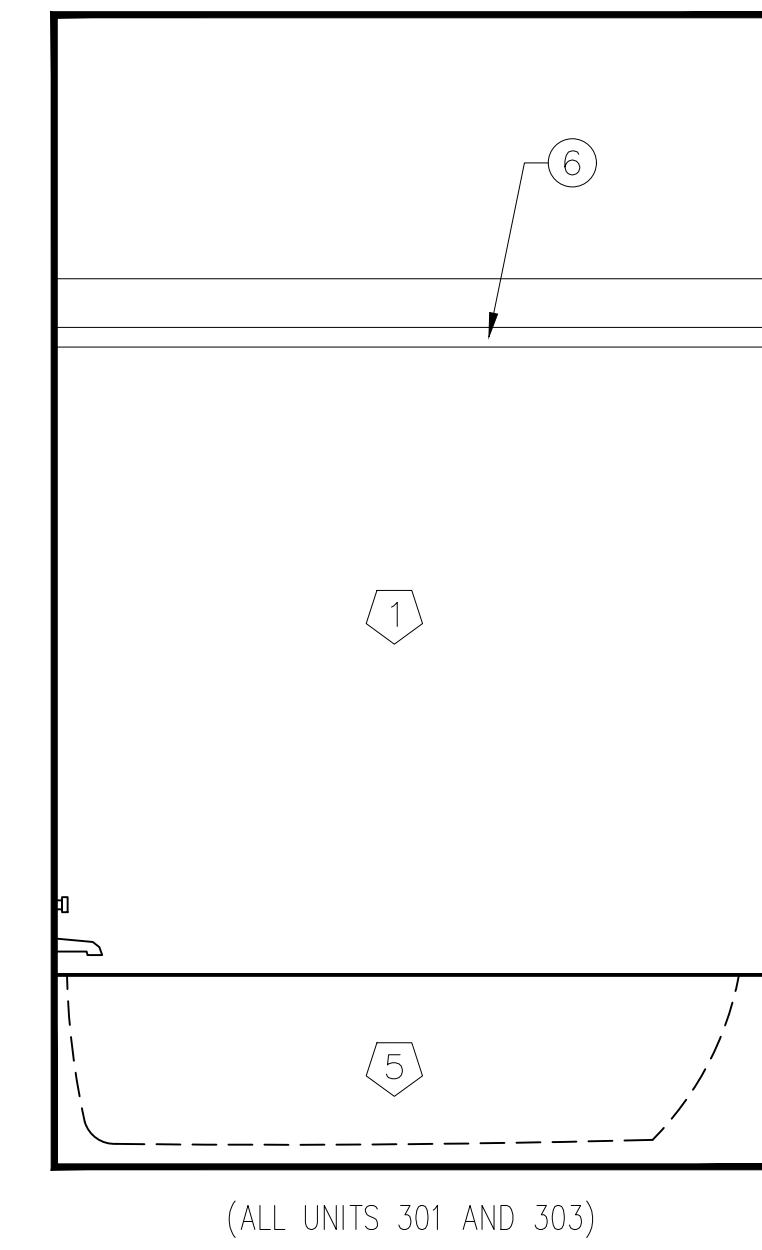
RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

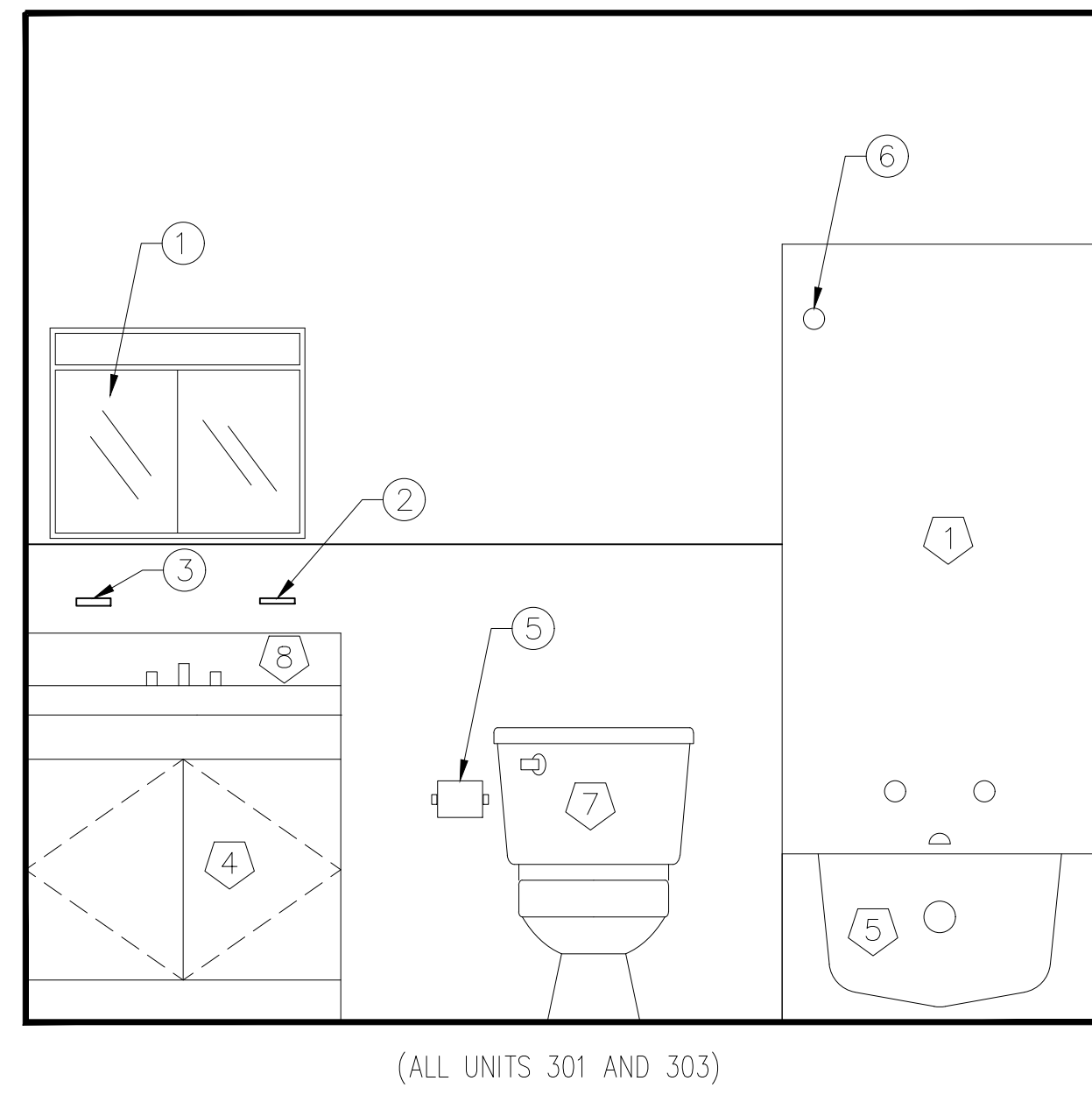
DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLV DRAWN: JSM CHECK: BGE

IL30-24 O'FALLON  
BUILDING TYPE "A"  
PLANS AND ELEVATIONS

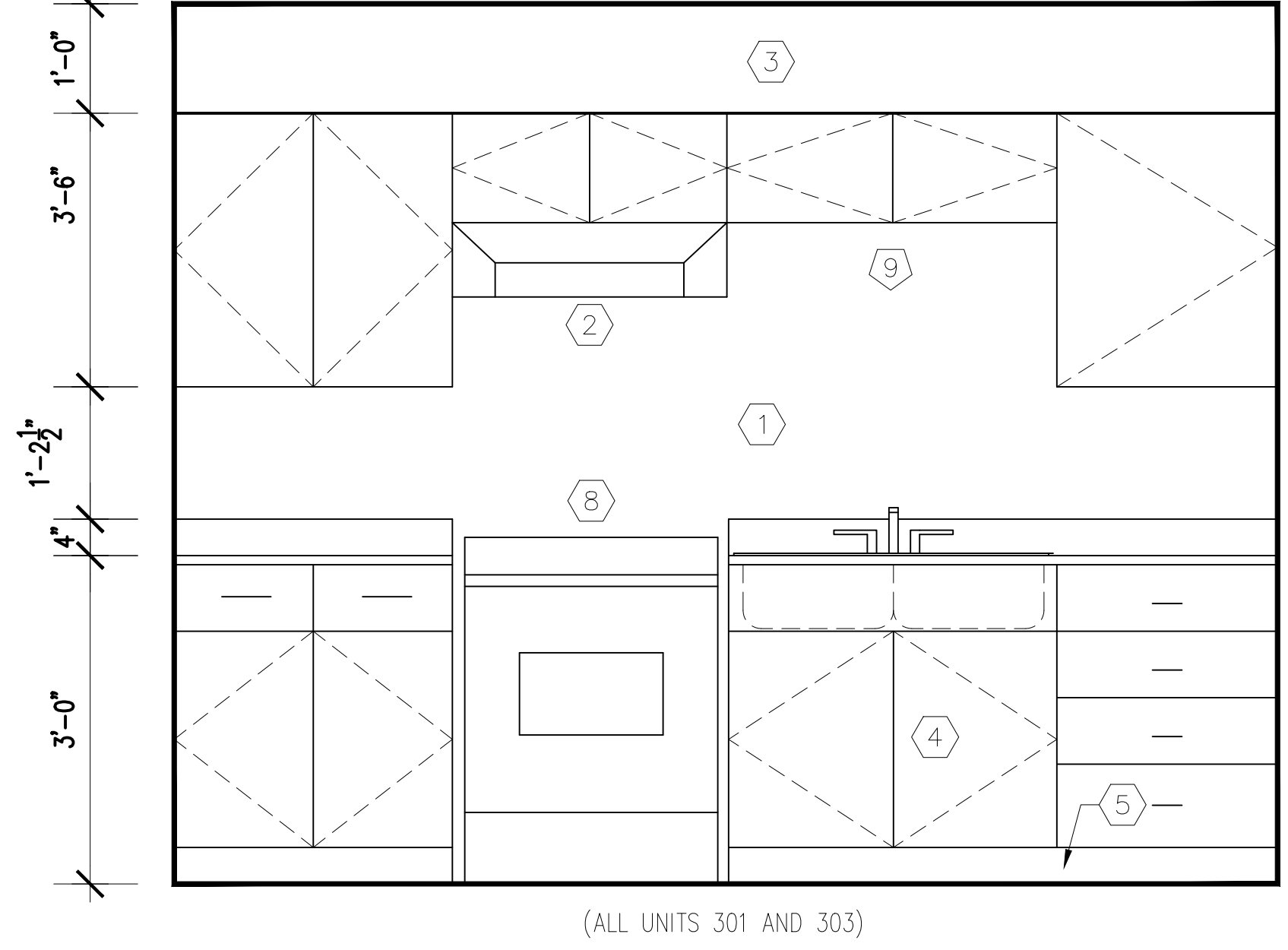
A104.1



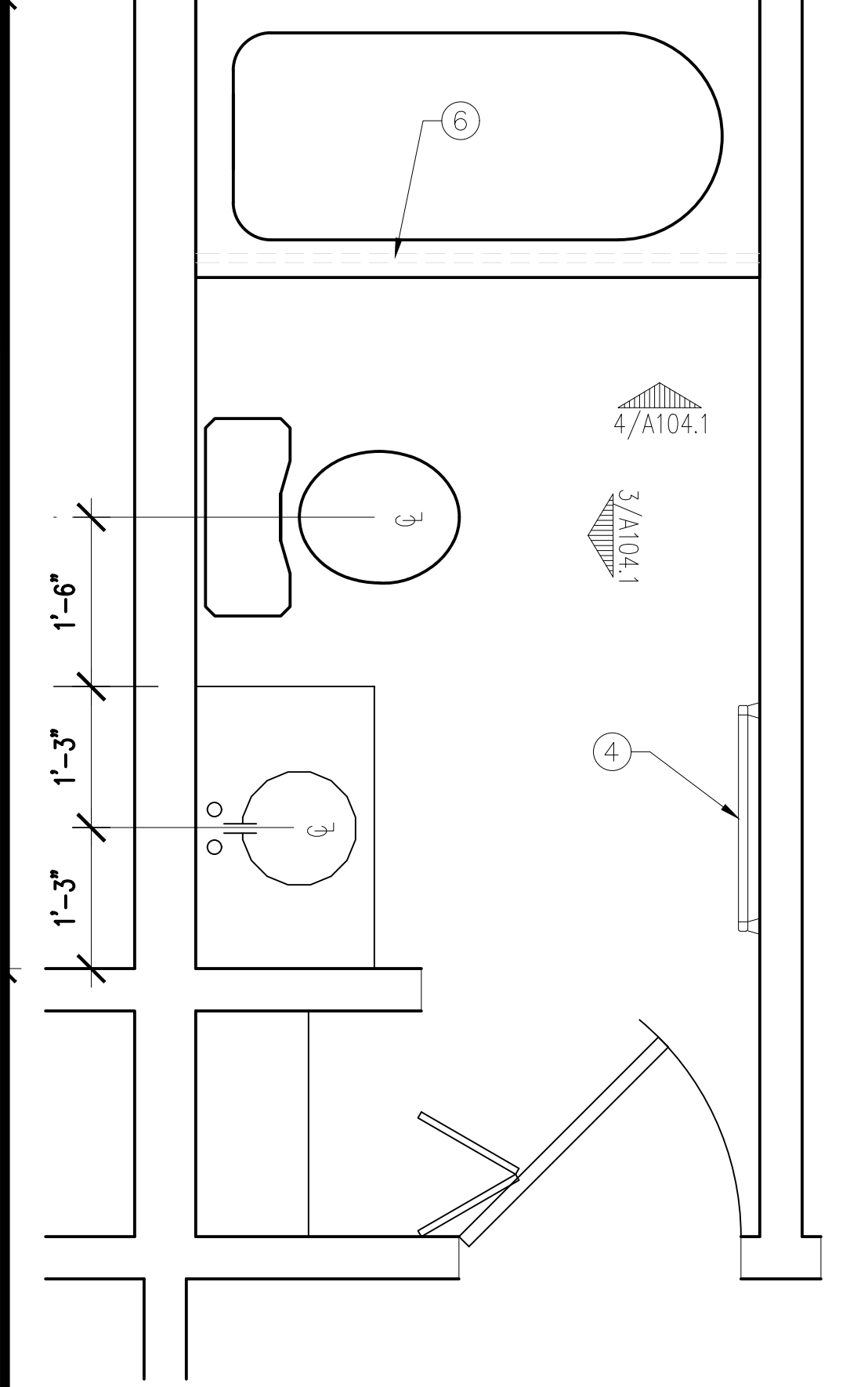
4 BATHROOM ELEV.  
A104.1 SCALE: 3/8"=1'-0"



3 BATHROOM ELEV.  
A104.1 SCALE: 3/8"=1'-0"



2 CASEWORK ELEV.  
A104.1 SCALE: 3/4"=1'-0"



1 ENLARGED TOILET PLAN  
A104.1 SCALE: 3/8"=1'-0"

- TOILET/BATH KEY NOTES** #
- TUB/SHOWER SURROUND W/CORNER SHELVEING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 3/8" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
  - LIGHT FIXTURE - COORD. WITH ELECTRICAL
  - 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
  - VANITY CABINET W/CULTURED MARBLE. TOP W/INTEGRAL SINK.
  - NEW TUB. - COORD. WITH PLUMBING
  - ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL, THROUGHOUT UNIT, TYPICAL.
  - NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
  - NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.

- KITCHEN KEYED NOTES** #
- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
  - NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
  - EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
  - SINK BASE CABINET.
  - 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
  - FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
  - FINISHED FILLER TO MATCH CABINET FINISH
  - WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
  - UNDER CABINET LIGHT. COORDINATE W/ ELECTRICAL. INSTALL ON CABINET SURFACE.
  - REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.

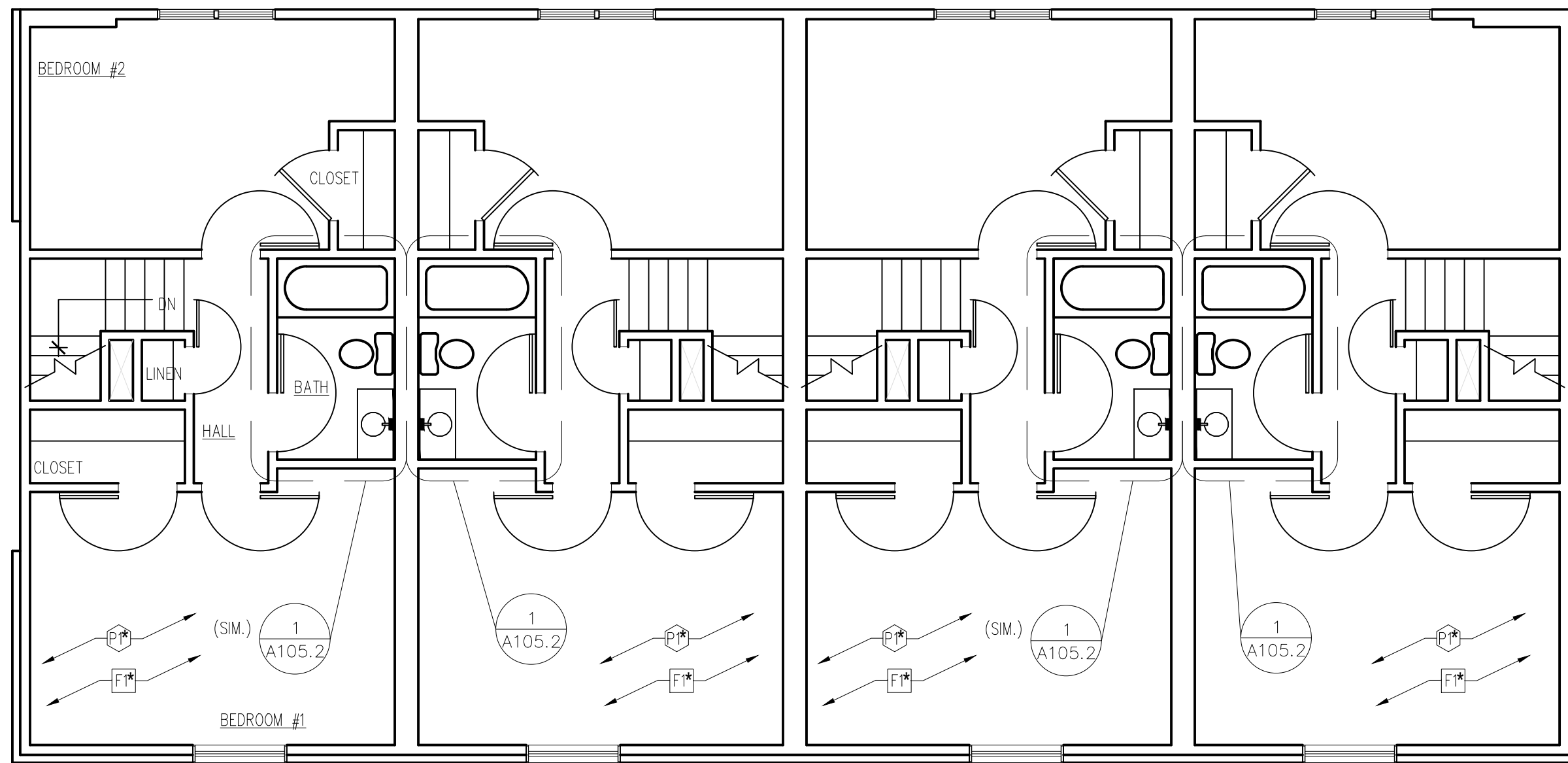
- TOILET/BATH ELEVATION GENERAL NOTES**
- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
  - PROVIDE BLOCKING IN WALLS FOR ANCHORING ALL ACCESSORIES WHERE REQUIRED IF NOT EXISTING.
  - ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING AND ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
  - PRIME AND PAINT ALL GYPSUM BOARD AND CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
  - ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.

- KITCHEN GENERAL NOTES**
- COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
  - GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
  - DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
  - COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
  - FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
  - PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
  - INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
  - INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
  - INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
  - PROVIDE BACKSPASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
  - ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
  - INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

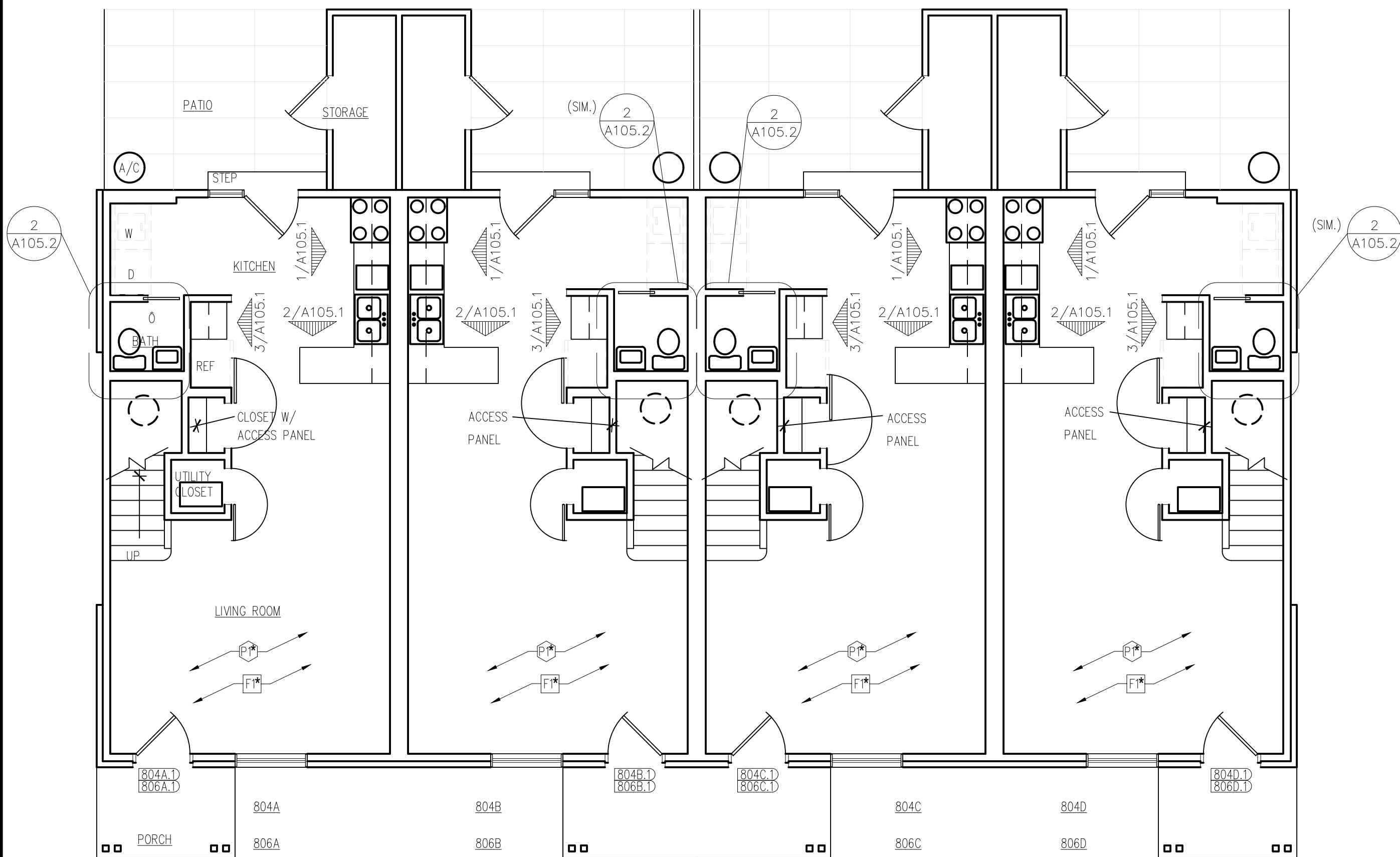
**TOILET/BATH ACCESSORIES SCHEDULE** #

#	ITEM	DESCRIPTION	MOUNTING (A.F.F.)	REMARKS
1	M	WALL MOUNTED MIRROR (18" x 30")	40" TO BOTTOM	--
2	SD	SOAP DISH	40" TO TOP	--
3	CH	CUP HOLDER	40" TO TOP	--
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	--
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	--
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	--
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--
8	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--

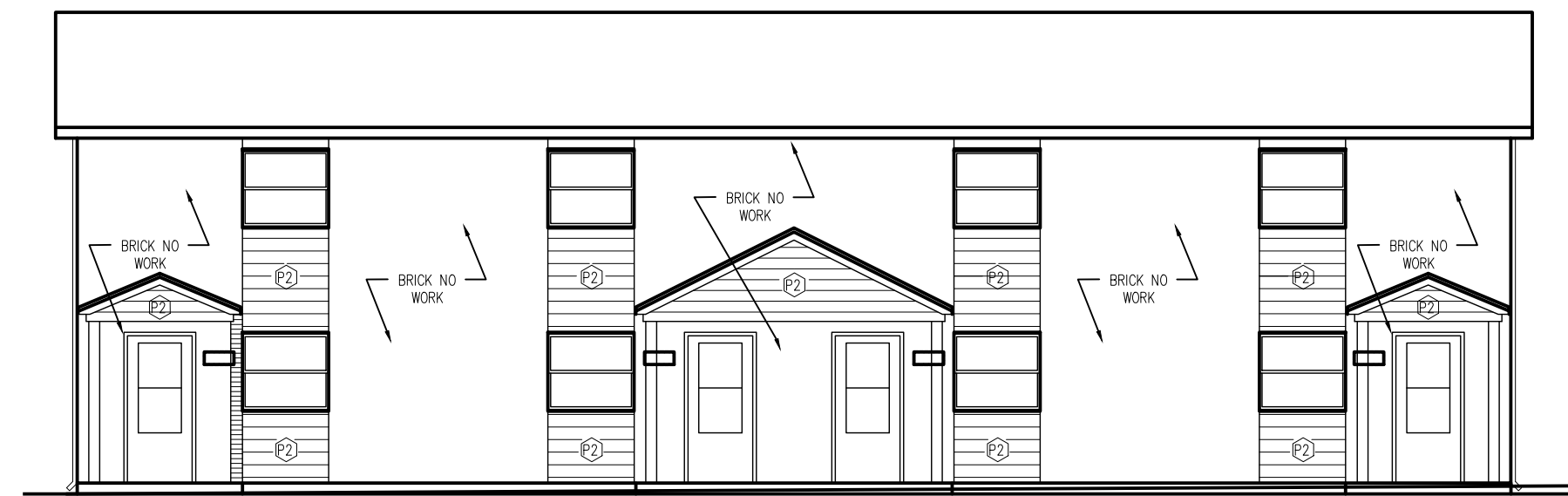




SECOND FLOOR PLAN - BUILDING TYPE "B"  
SCALE: 3/16" = 1'-0" (804 AND 806)



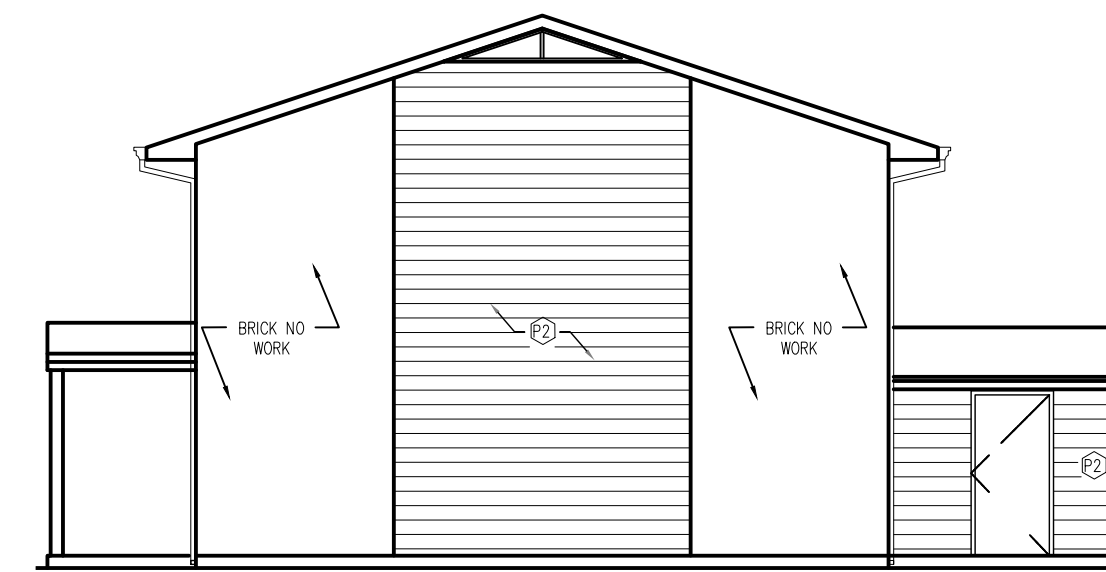
FIRST FLOOR PLAN - BUILDING TYPE "B"  
SCALE: 3/16" = 1'-0" (804 AND 806)



FRONT ELEVATION - BLDG. TYPE "B" 804 & 806  
SCALE: 1/8"=1'-0" (TYP. OF 2 BLDGS.)



REAR ELEVATION - BLDG. TYPE "B" 804 & 806  
SCALE: 1/8"=1'-0" (TYP. OF 2 BLDGS.)



SIDE ELEVATION - BLDG. TYPE "B" 804 & 806  
SCALE: 1/8"=1'-0" OPPOSITE SIDE IS A MIRROR IMAGE (TYP. OF 2 BLDGS.)

FLOORING KEY NOTES [F#]

1. REMOVE AND DISPOSE OF EXISTING FLOORING, BASE AND MASTIC THROUGHOUT UNIT. INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.  
\* = THROUGHOUT UNIT, TYPICAL.

PAINTING KEY NOTES [P#]

1. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL, ALLOW 50SQFT PER DWELLING UNIT.  
\* = THROUGHOUT UNIT, TYPICAL.
2. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS & SIDING AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
3. ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.

GENERAL NOTES:

1. REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES - INSTALL NEW AS SHOWN ON A#01 SHEET FOR BUILDING TYPE, TYPICAL.
2. REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#01 SHEET FOR BUILDING TYPE, TYPICAL.
3. FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
4. SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
6. COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
7. ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
8. WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
9. ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
10. ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
11. ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
12. PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
13. COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.

DOOR SCHEDULE

DOOR NO.	SIZE (F.V.) FIELD VERIFY SIZES AND THICKNESS			DOOR		FRAME			LABEL	HWARE GROUP	DETAILS			REMARKS
	WIDTH	HEIGHT	THICK	(F.V.) MATERIAL	FINISH	ELEV.	(F.V.) MATERIAL	FINISH			ELEV.	HEAD	JAMB	
804A.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	3	A	B&C	---	
804B.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	3	A	B&C	---	
804.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	3	A	B&C	---	
804D.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	3	A	B&C	---	
806A.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	3	A	B&C	---	
806B.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	3	A	B&C	---	
806C.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	3	A	B&C	---	
806D.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	3	A	B&C	---	

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.

**HR**  
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SPRINGFIELD, IL  
MARION, IL  
NASHVILLE, TN  
ARNOLD, MO

SIGNATURE  
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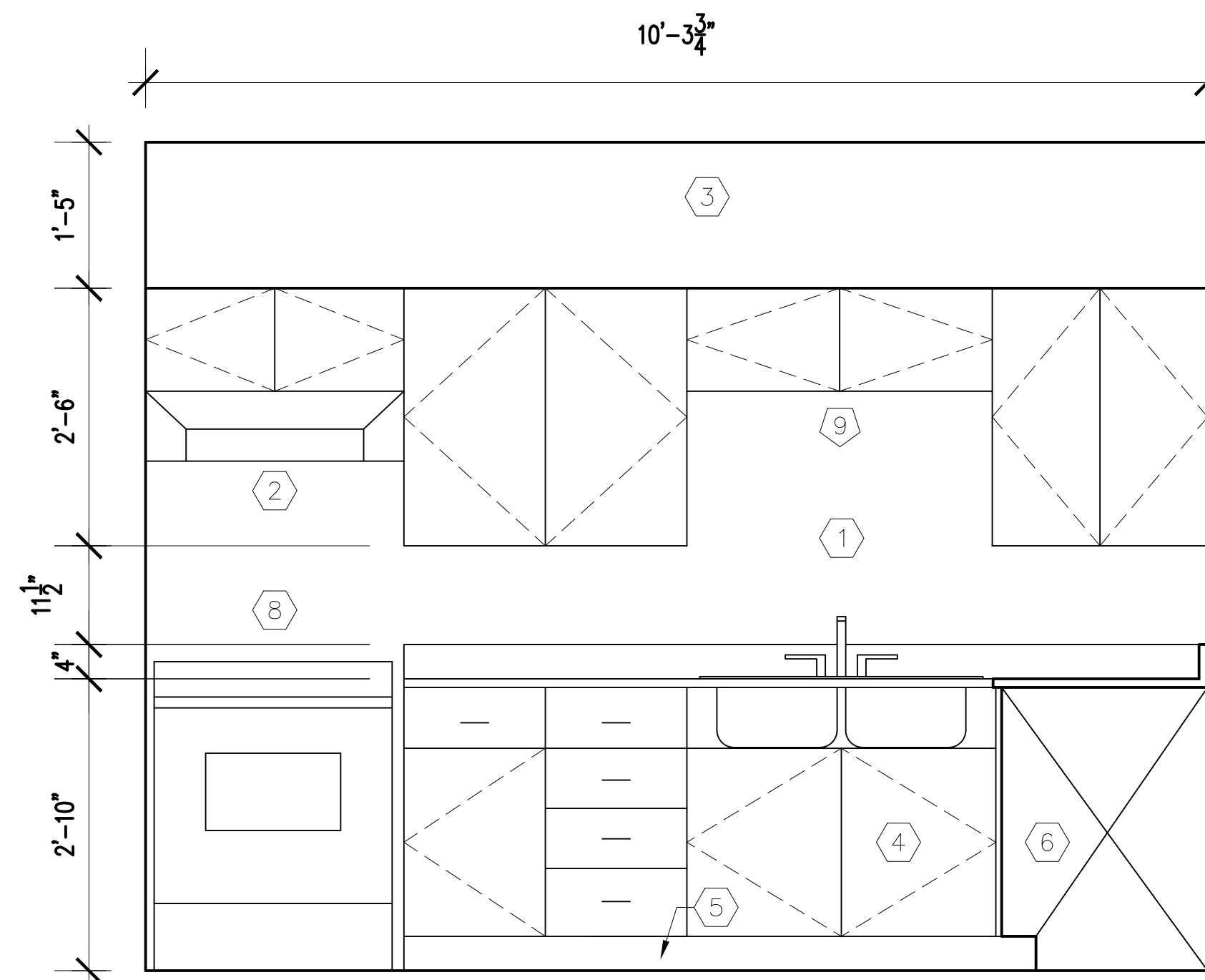
RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION
1	4/22/25	ADDENDUM - 1

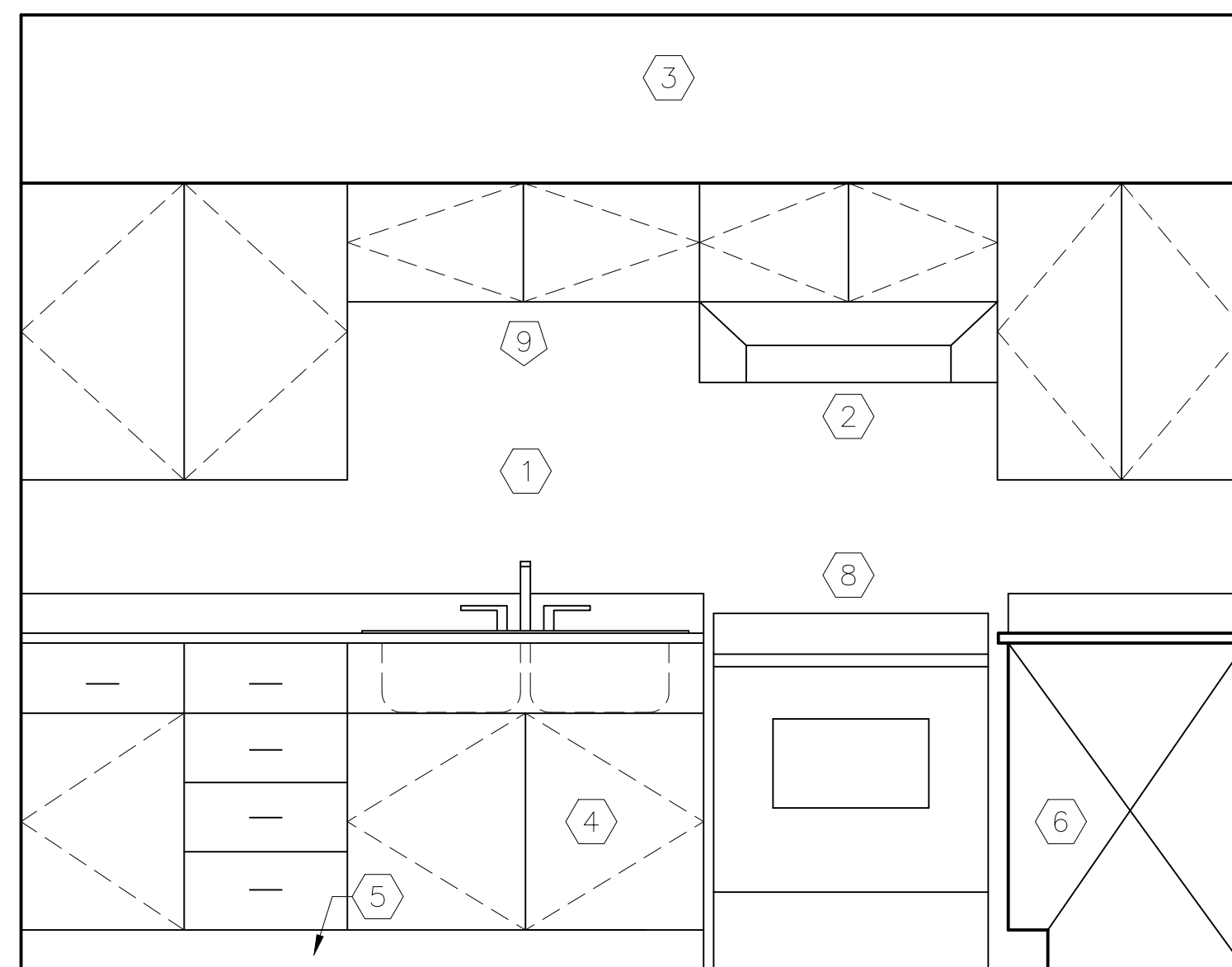
DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: DRAWN: CHECK:  
JLV JSM BGE

IL30-24 O'FALLON  
BUILDING TYPE "B"  
PLANS AND ELEVATIONS

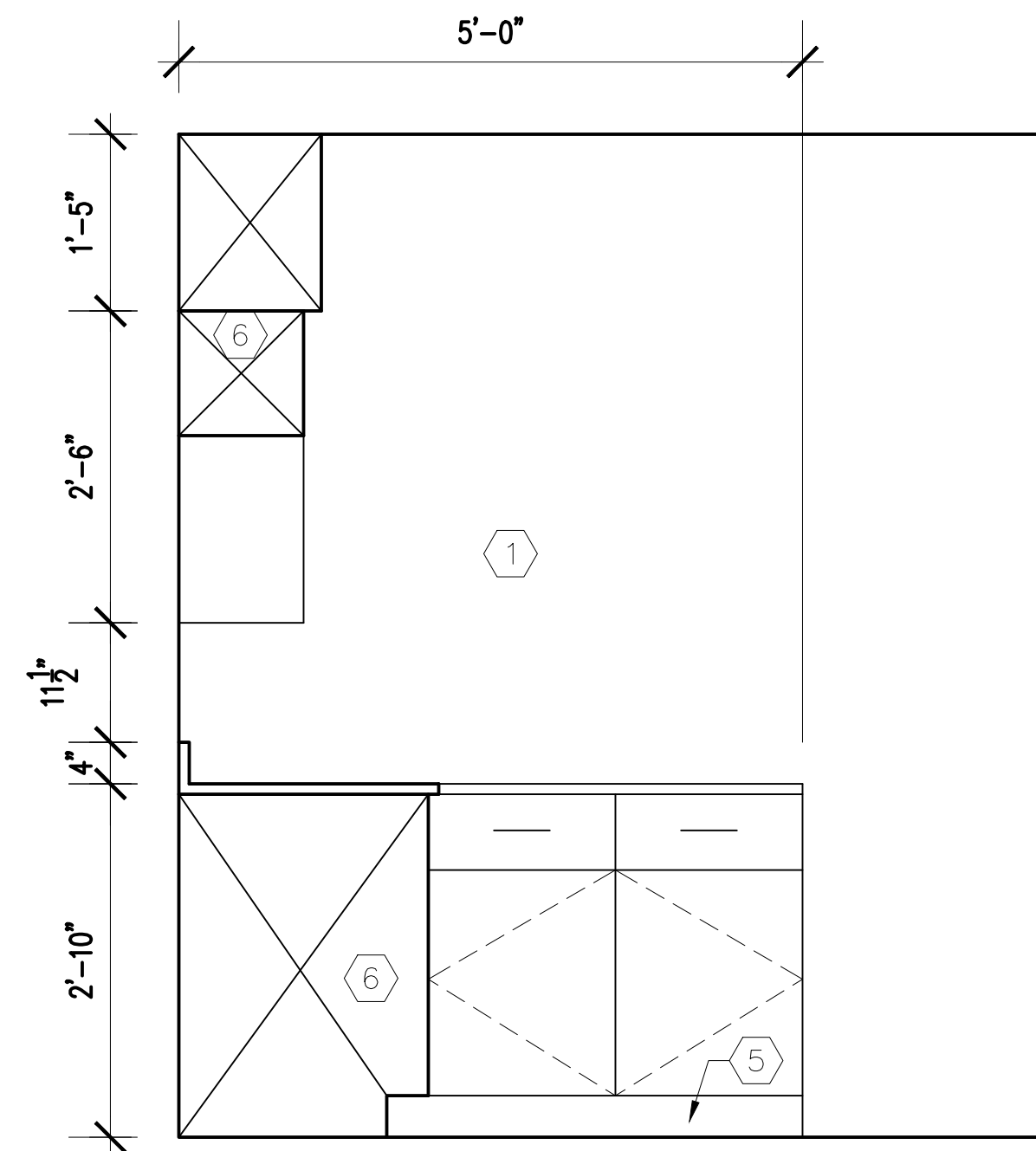
**A105**



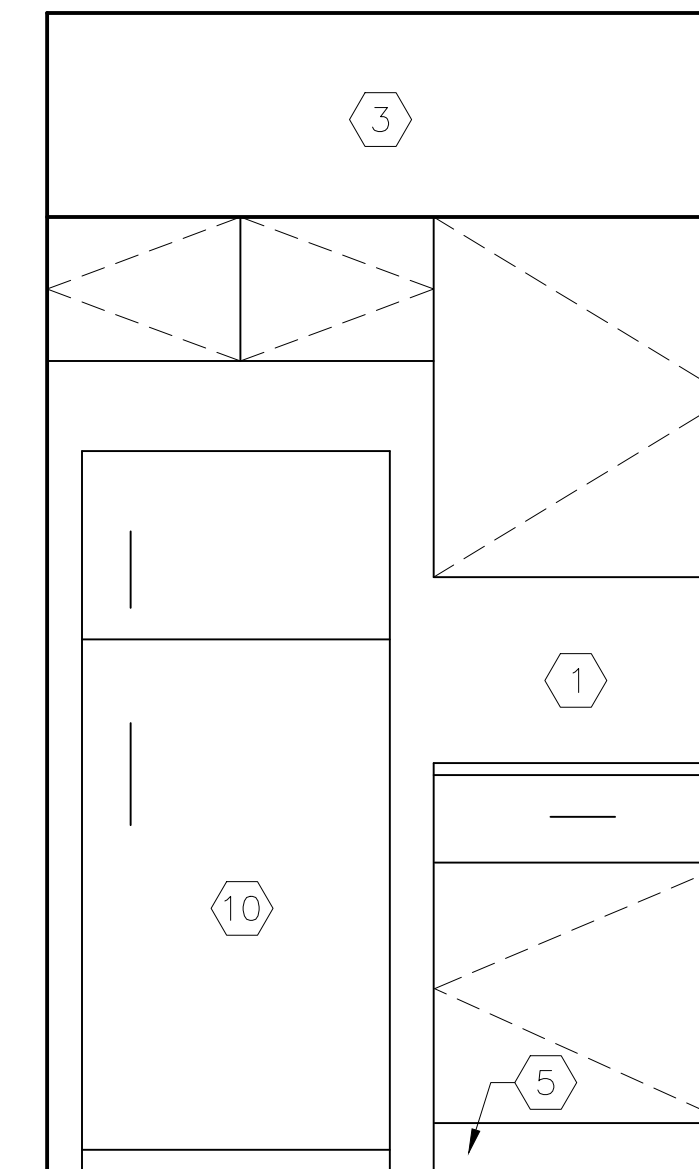
(ALL UNITS 804)



(ALL UNITS 806)  
**1 CASEWORK ELEV.**  
 A105.1 SCALE: 3/4"=1'-0"



(ALL UNITS 804 & 806)  
**2 CASEWORK ELEV.**  
 A105.1 SCALE: 3/4"=1'-0"



(ALL UNITS 804 & 806)  
**3 CASEWORK ELEV.**  
 A105.1 SCALE: 3/4"=1'-0"

**KITCHEN GENERAL NOTES**

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- FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
- INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
- INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
- INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
- PROVIDE BACKSPASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
- ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
- INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

**KITCHEN KEYED NOTES (#)**

- PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
- NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
- EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
- SINK BASE CABINET.
- 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
- FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
- FINISHED FILLER TO MATCH CABINET FINISH
- WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
- UNDER CABINET LIGHT. COORDINATE w/ ELECTRICAL. INSTALL ON CABINET SURFACE.
- REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.



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SIGNATURE  
 xx-xx-2025  
 DATE  
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RAD RENOVATION SILVER CREEK MANOR  
 AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
 ST. CLAIR COUNTY HOUSING AUTHORITY  
 ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

DATE: 04-14-2025  
 PROJECT NO: 280-0385  
 DESIGN: JLW DRAWN: JSM CHECK: BGE

IL30-24 O'FALLON  
 BUILDING TYPE "B"  
 KITCHEN ELEVATIONS

**A105.1**



Hurst-Rosche, Inc.  
PROFESSIONAL DESIGN NUMBER: 184-00298

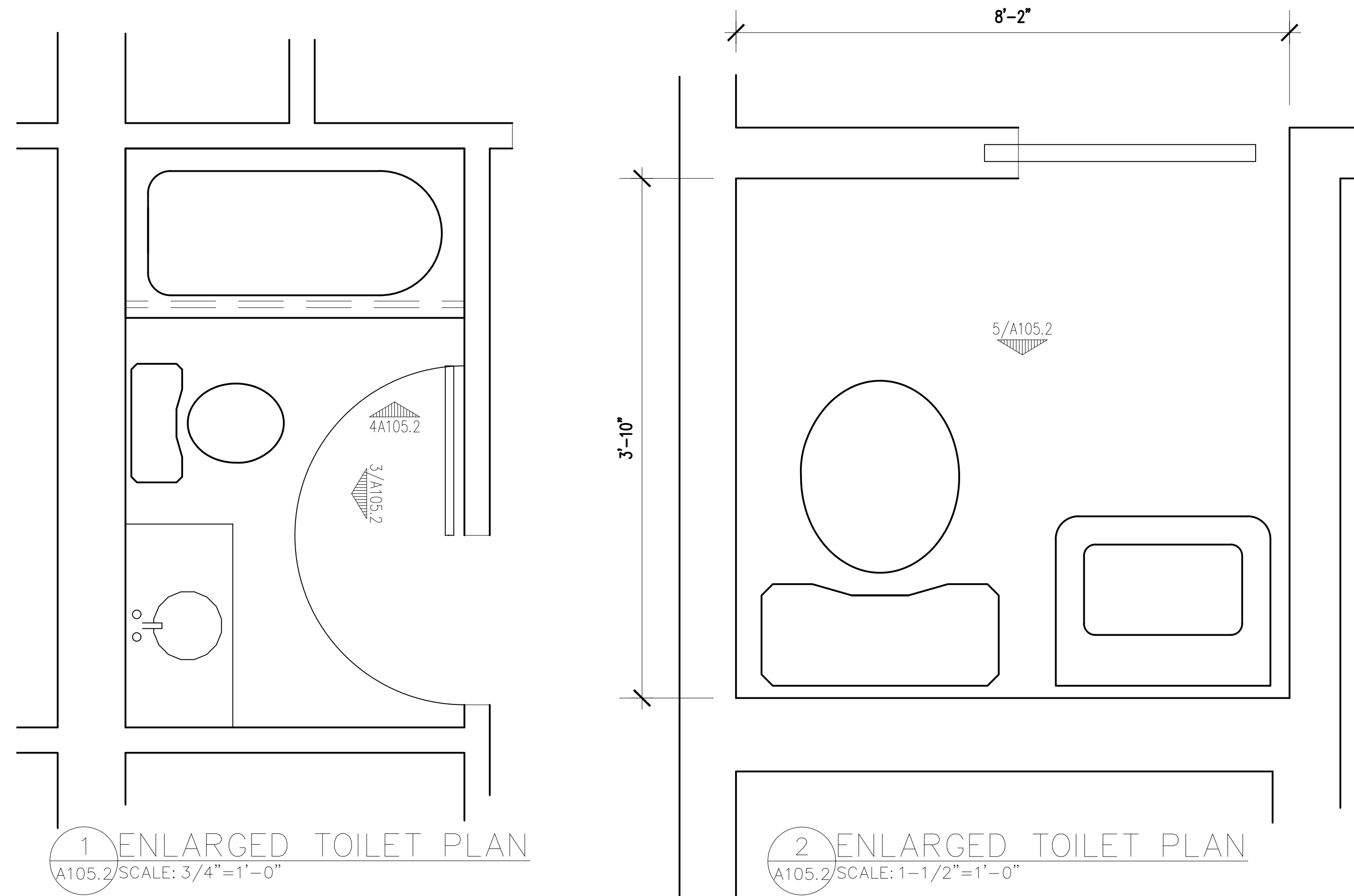
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### TOILET/BATH ELEVATION GENERAL NOTES

- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
- PROVIDE BLOCKING IN WALLS FOR ANCHORING ALL ACCESSORIES WHERE REQUIRED IF NOT EXISTING.
- ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING AND ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
- PRIME AND PAINT ALL GYPSUM BOARD AND CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
- ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.

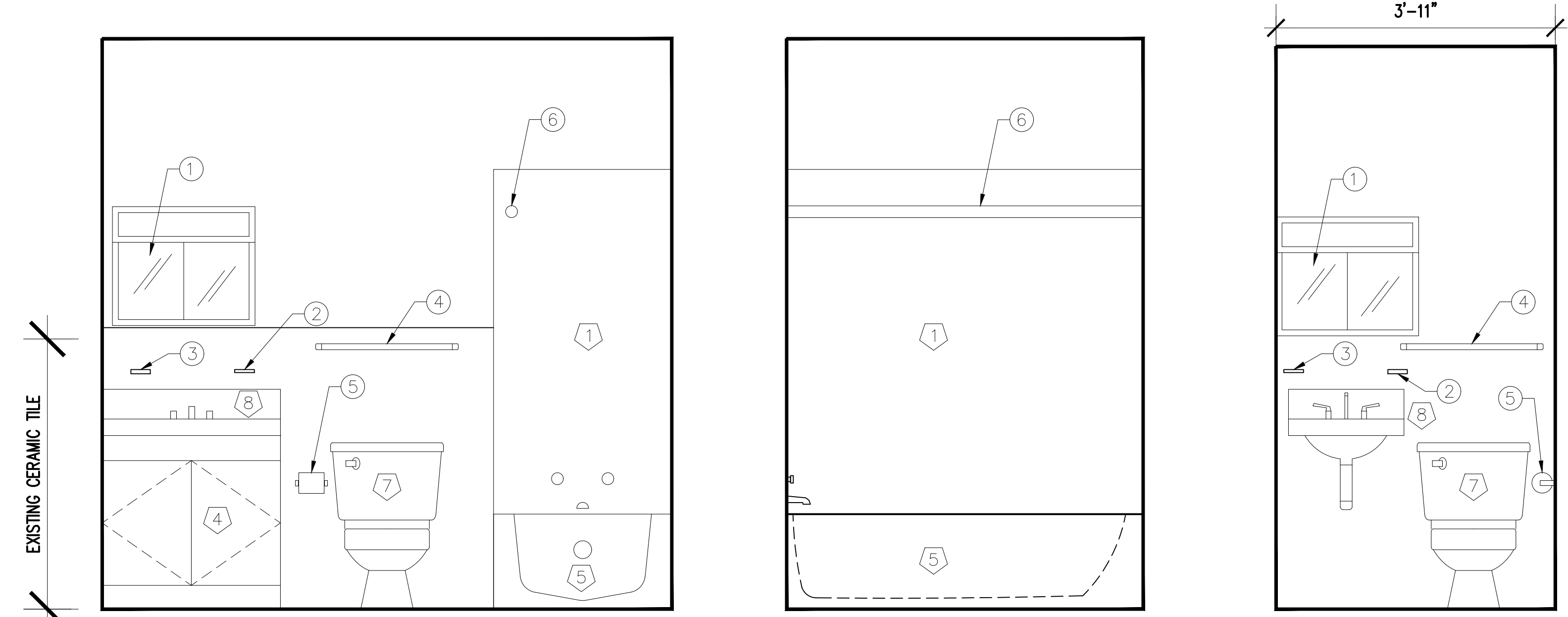
### TOILET/BATH KEY NOTES #

- TUB/SHOWER SURROUND W/CORNER SHELVING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 3/8" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
- LIGHT FIXTURE - COORD. WITH ELECTRICAL
- 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
- VANITY CABINET W/CULTURED MARBLE. TOP W/INTEGRAL SINK.
- NEW TUB. - COORD. WITH PLUMBING
- ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL, THROUGHOUT UNIT, TYPICAL.
- NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
- NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.



1 ENLARGED TOILET PLAN  
A105.2 SCALE: 3/4"=1'-0"

2 ENLARGED TOILET PLAN  
A105.2 SCALE: 1-1/2"=1'-0"



3 BATHROOM ELEV.  
A105.2 SCALE: 3/4"=1'-0"

4 BATHROOM ELEV.  
A105.2 SCALE: 3/4"=1'-0"

5 BATHROOM ELEV.  
A105.2 SCALE: 3/4"=1'-0"

### TOILET/BATH ACCESSORIES SCHEDULE #

#	ITEM	DESCRIPTION	MOUNTING (A.F.F.)	REMARKS
	M	WALL MOUNTED MIRROR (18" x 30")	40" TO BOTTOM	--
2	SD	SOAP DISH	40" TO TOP	--
3	CH	CUP HOLDER	40" TO TOP	--
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	--
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	--
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	--
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--
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RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLW DRAWN: JSM CHECK: BGE

IL30-24 O'FALLON  
BUILDING TYPE "B"  
BATHROOM PLANS AND  
ELEVATIONS

# A105.2



Hurst-Rosche, Inc.  
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ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION
1	4/22/25	ADDENDUM - 1

DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLW DRAWN: BGE CHECK: BGE

IL30-24 O'FALLON  
BUILDING TYPE "C"  
PLANS AND ELEVATIONS

A106

### FLOORING KEY NOTES F#

1. REMOVE AND DISPOSE OF EXISTING FLOORING, BASE AND MASTIC THROUGHOUT UNIT. INSTALL NEW 6"x36" FLOATING VINYL PLANK FLOORING WITH ADHESIVE EDGES (TRAFFICMASTER GRIP STRIP OR APPROVED EQUAL) AND RESILIENT WALL BASE AS SPECIFIED THROUGHOUT UNITS TO RECEIVE WORK. PROVIDE MATCHING TRANSITION STRIPS AND ACCESSORIES AS NECESSARY FOR PROPER INSTALLATION.

\* = THROUGHOUT UNIT, TYPICAL.

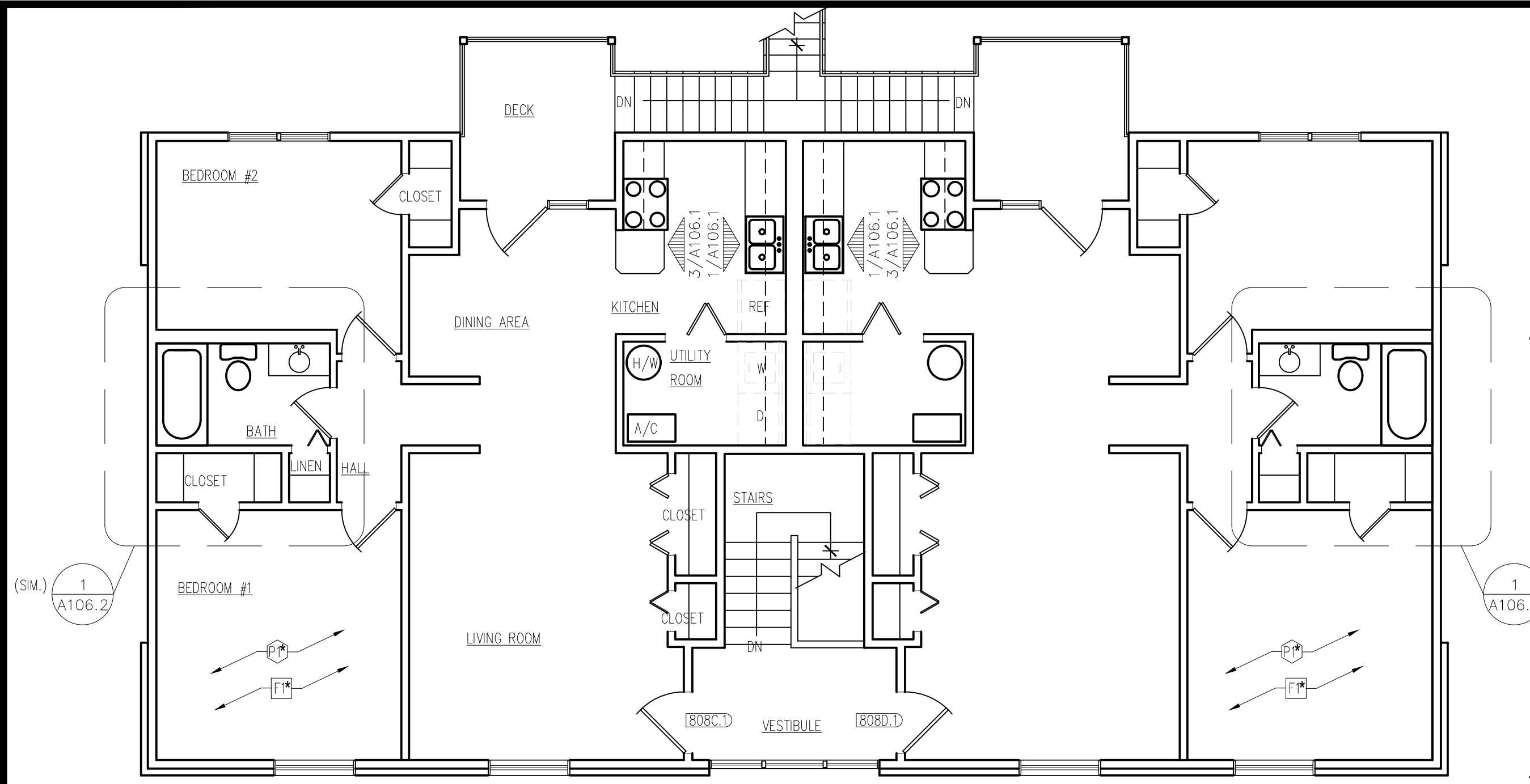
### PAINTING KEY NOTES P#

1. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH DRYWALL COMPOUND AND SAND (3 COATS) TO PROVIDE SMOOTH UNIFORM FINISH) @ EXISTING INTERIOR WALLS AND CEILINGS (TO REMAIN EXPOSED) AS NECESSARY AND PAINT EXISTING INTERIOR WALLS AND CEILINGS IN THEIR ENTIRETY (LARGE CRACKS IN PLASTER SURFACES TO BE SCRAPPED LEVEL TO SURFACE OF PLASTER, TAPED, 3 COATS OF COMPOUND APPLIED AND SANDED). REPAIR DAMAGED DRYWALL, ALLOW 50SOF PER DWELLING UNIT.
2. REMOVE ALL LOOSE/ PEELING PAINT, PATCH GOUGES, NAIL HOLES, BUBBLES, ETC. AND FILL WITH EXTERIOR COMPATIBLE COMPOUND AND SAND AT EXISTING EXTERIOR WALLS & SIDING AS NECESSARY AND PAINT SIDING AND TRIMS IN THEIR ENTIRETY, TYPICAL.
3. ASSESS EXTERIOR BALCONIES FOR DAMAGE, REPLACE AND REPAIR MATERIALS IN KIND & PAINT AS SPECIFIED, TYPICAL.

\* = THROUGHOUT UNIT, TYPICAL.

### GENERAL NOTES:

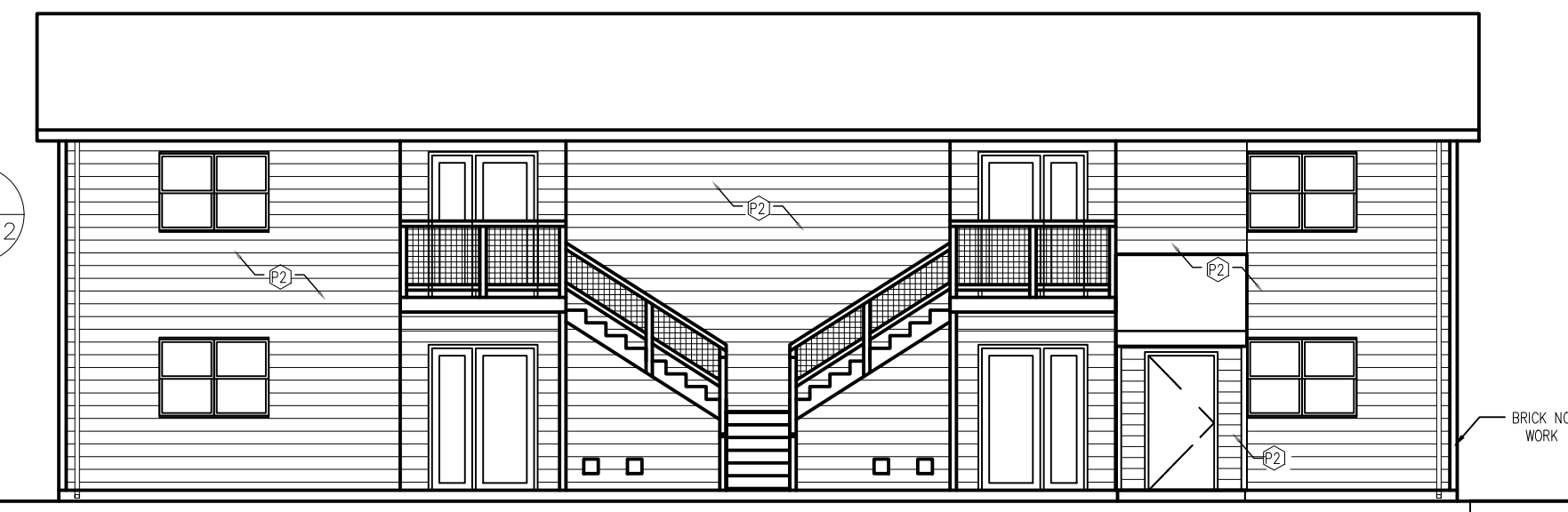
1. REMOVE EXG. KITCHEN CASEWORK, COUNTERTOP, BACK-SPLASHES, SINKS, APPLIANCES & ALL RELATED ACCESSORIES - INSTALL NEW AS SHOWN ON A#01 SHEET FOR BUILDING TYPE, TYPICAL.
2. REMOVE EXG. BATHROOM FIXTURES, ACCESSORIES & ALL RELATED MATERIAL. INSTALL NEW AS SHOWN ON A#01 SHEET FOR BUILDING TYPE, TYPICAL.
3. FIELD VERIFY ALL EXG. DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
4. SURFACES THAT ARE NOT PRE-FINISHED SHALL BE PAINTED, U.N.O.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL PERMIT FEES, PAY ITEM AGREEMENTS, TAP FEES, ETC.
6. COORDINATE ALL INTERIOR FINISHES AS SCHEDULED ON DRAWINGS AS SPECIFIED.
7. ALL UNITS IN ALL THE BUILDING TYPES SHOWN, ARE TO RECEIVE DESIGNATED SCHEDULED SCOPE OF WORK AND SHOULD BE CONSIDERED TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
8. WHETHER SHOWN OR NOT, CONTRACTOR SHALL PROVIDE ALL COMPONENTS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
9. ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE (CURRENT EDITION) AND ALL LOCAL PLUMBING CODES.
10. ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (CURRENT EDITION) AND ALL LOCAL ELECTRICAL CODES.
11. ALL NEW FIXTURES & EQUIPMENT SHALL CONNECT TO EXISTING SERVICES UNLESS SHOWN OTHERWISE. PROVIDE FOR ANY NECESSARY MODIFICATIONS OR TRANSITIONS OF EXISTING SERVICES.
12. PROVIDE NEW WATER SUPPLY ISOLATION VALVES FOR ALL PLUMBING FIXTURES.
13. COORDINATE FINAL LOCATION OF APPLIANCES, FIXTURES AND EQUIPMENT WITH THE ARCHITECTURAL SHEETS.



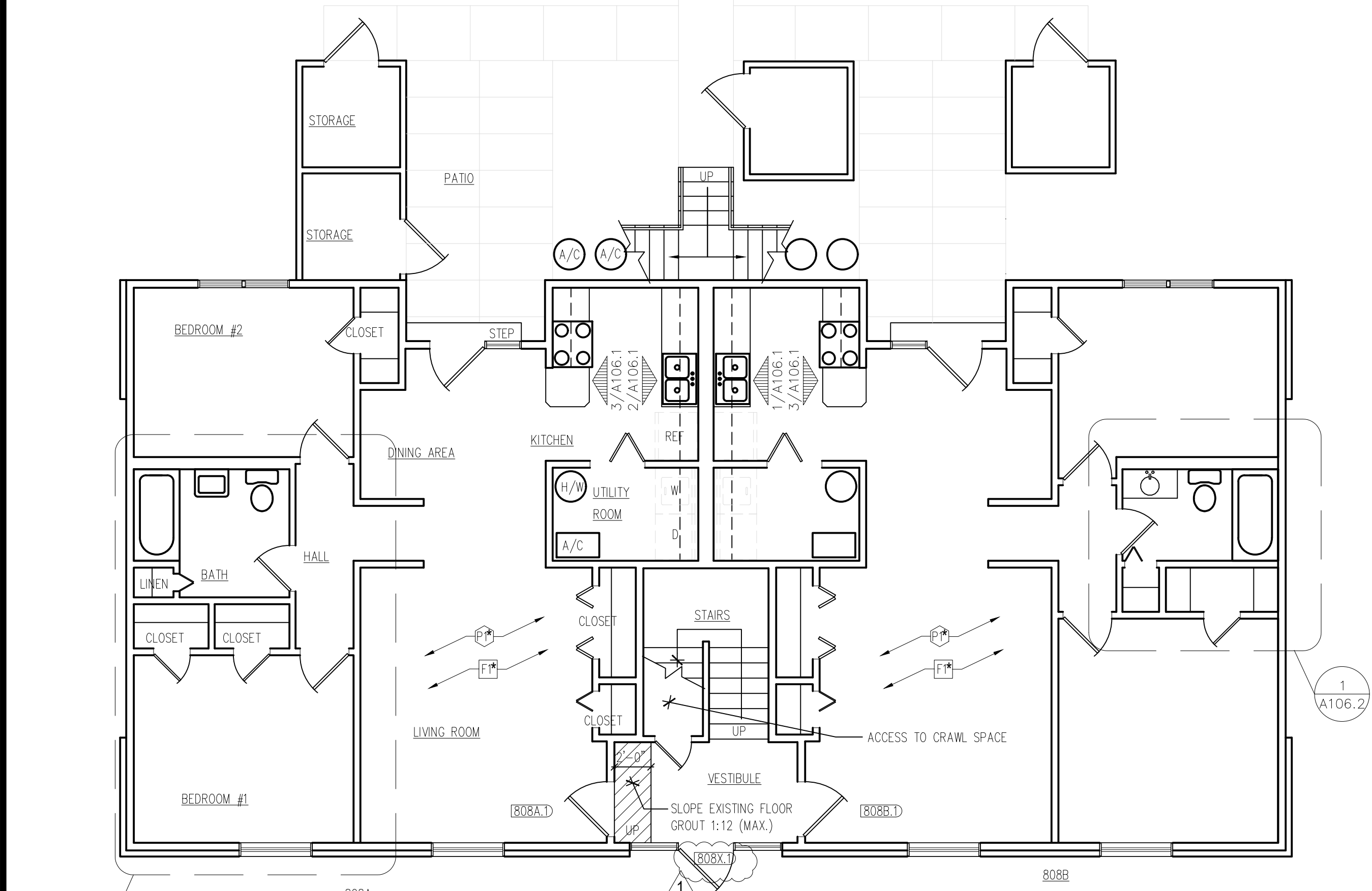
SECOND FLOOR PLAN - BUILDING TYPE "C"  
SCALE: 3/16" = 1'-0" (808)



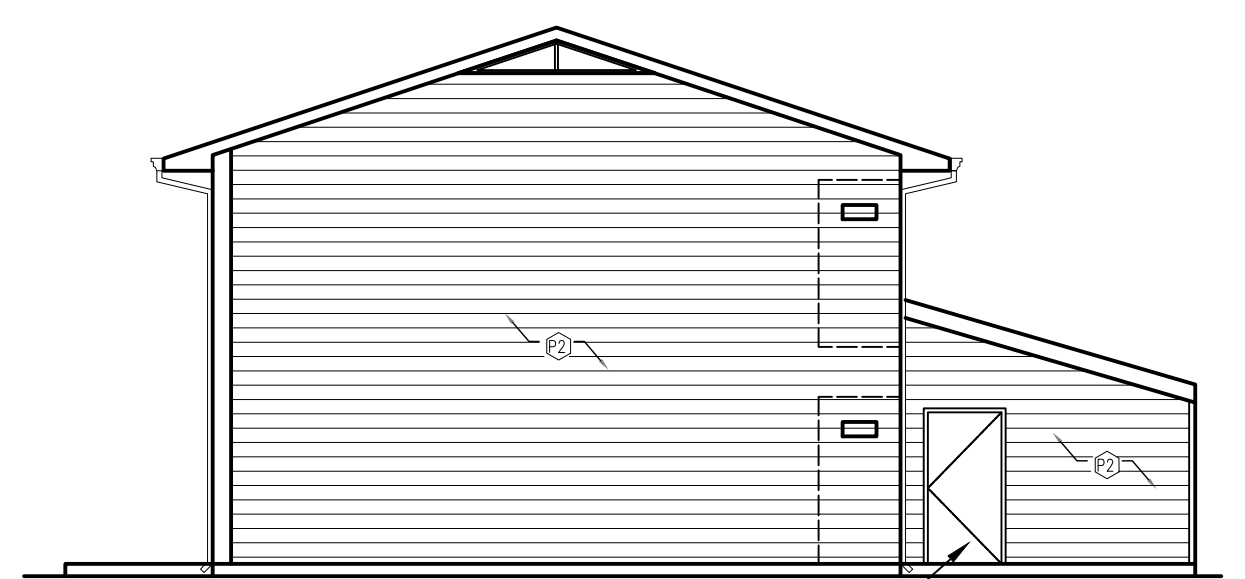
FRONT ELEVATION - BLDG. TYPE 'C' 808  
SCALE: 1/8"=1'-0" (TYP. OF 1 BLDG.)



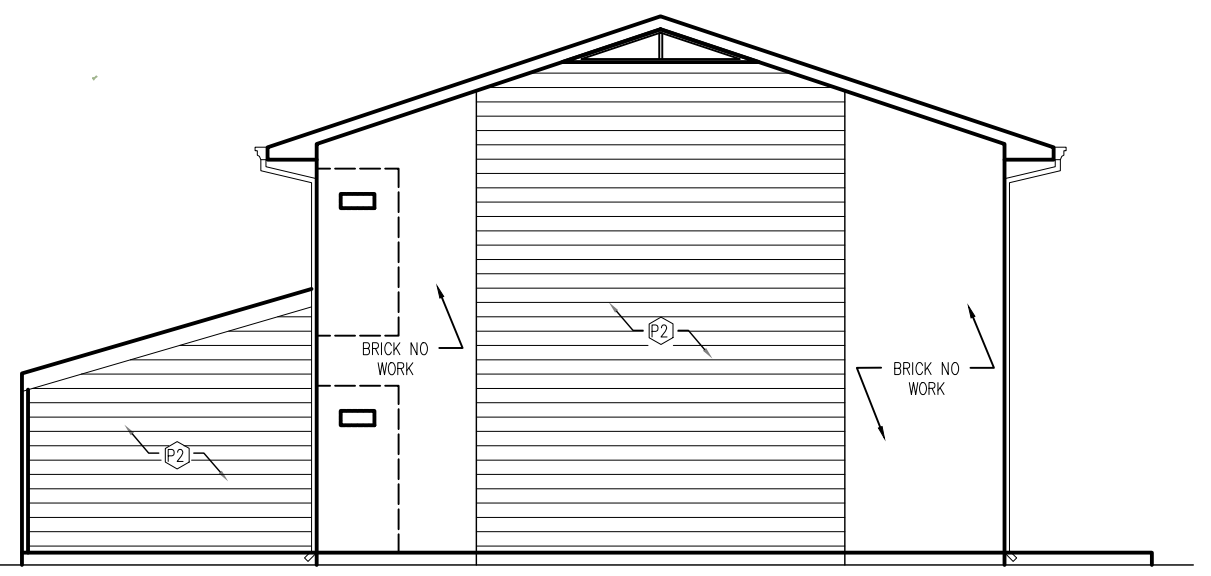
REAR ELEVATION - BLDG. TYPE 'C' 808  
SCALE: 1/8"=1'-0" (TYP. OF 1 BLDG.)



FIRST FLOOR PLAN - BUILDING TYPE "C"  
SCALE: 3/16" = 1'-0" (808)



RIGHT SIDE ELEVATION - BLDG. TYPE 'C' 808  
SCALE: 1/8"=1'-0" (TYP. OF 1 BLDG.)

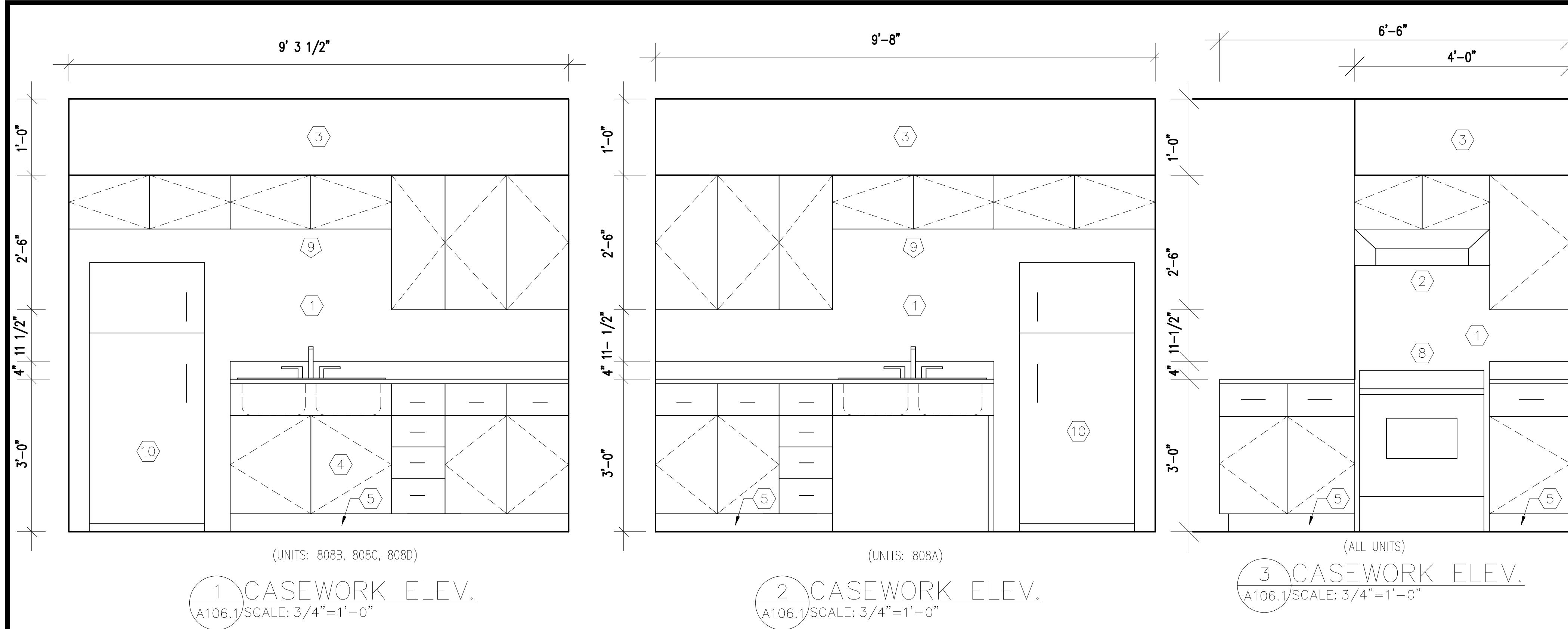


LEFT SIDE ELEVATION - BLDG. TYPE 'C' 808  
SCALE: 1/8"=1'-0" (TYP. OF 1 BLDG.)

### DOOR SCHEDULE

DOOR NO.	SIZE			DOOR			FRAME			LABEL	H'WARE GROUP	DETAILS			REMARKS
	(F.V.) FIELD VERIFY SIZES AND THICKNESS			(F.V.) MATERIAL	FINISH	ELEV.	(F.V.) MATERIAL	FINISH	ELEV.			HEAD	JAMB	SILL	
808A.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
808B.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
808C.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
808D.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	
808X.1	3'-0"	6'-8"	1 3/4"	HM	P	A	HM	P	---	---	3	A	B&C	---	

NOTE: ALL EXISTING INTERIOR SWING DOORS TO REMAIN SHALL RECEIVE NEW LEVER HANDLE LATCHSETS AS SPECIFIED. PROVIDE PRIVACY FUNCTION AT BEDROOM DOORS. ALL EXISTING INTERIOR WOOD DOORS TO REMAIN SHALL BE PRIMED AND PAINTED IN THEIR ENTIRETY.



1 CASEWORK ELEV.  
A106.1 SCALE: 3/4"=1'-0"

2 CASEWORK ELEV.  
A106.1 SCALE: 3/4"=1'-0"

3 CASEWORK ELEV.  
A106.1 SCALE: 3/4"=1'-0"

- KITCHEN KEYED NOTES** #
1. PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
  2. NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
  3. EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
  4. SINK BASE CABINET.
  5. 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
  6. FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
  7. FINISHED FILLER TO MATCH CABINET FINISH
  8. WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
  9. UNDER CABINET LIGHT. COORDINATE w/ ELECTRICAL. INSTALL ON CABINET SURFACE.
  10. REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
- KITCHEN GENERAL NOTES**
1. COORDINATE ALL WORK WITH P.H.A, ELECTRICAL, MECHANICAL, AND PLUMBING.
  2. GENERAL CONTRACTOR SHALL COORDINATE REMOVAL, HAULING, AND LEGAL DISPOSAL OF ALL MATERIALS WITH SUBCONTRACTORS.
  3. DIMENSIONS NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION ONLY. VERIFY ALL DIMENSIONS, INCLUDING NEW APPLIANCES PROVIDED BY PHA, BEFORE FABRICATION AND MAKE MINOR ADJUSTMENTS AS NECESSARY. COORDINATE ALL SIZES WITH PHA. ENSURE CABINET DOORS, DRAWERS, AND DRAWER PULLS PROPERLY OPEN AND CLOSE AND WILL NOT CONFLICT WITH OTHER DOORS, DRAWERS, AND PULLS.
  4. COUNTERTOP SHALL EXTEND A MINIMUM OF 1/4" BEYOND THE FACE OF CABINETS AND A MAXIMUM OF 1/2" BEYOND THE ENDS OF CABINETS.
  5. FRONT TOE BOARD SHALL NOT EXTEND PAST THE BASE AT THE END CABINET AND SHALL BE FINISHED TO MATCH CABINET FINISH.
  6. PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
  7. INSTALL WHITE POWDER-COATED STEEL GREASE SHIELD ON WALL BEHIND RANGE. EXTEND A MINIMUM OF 6" BELOW COUNTERTOP FOR FULL WIDTH OF RANGE SPACE.
  8. INSTALL FILLER PANELS AS REQ'D. FINISH ALL FILLER PANELS AND EXPOSED ENDS OF CABINETS TO MATCH CABINET FINISH.
  9. INSTALL MILDEW RESISTANT SEALANT BETWEEN CABINETS AND WALL SURFACES AND BETWEEN WALL AND COUNTERTOP.
  10. PROVIDE BACKSPLASH RETURNS FOR COUNTERTOPS AT END WALLS EXCEPT WHERE GREASE SHIELDS OCCUR.
  11. ALL CABINET DOORS SHALL HAVE RECESSED PANELS.
  12. INSTALL NEW STAINLESS STEEL, DOUBLE BOWL KITCHEN SINK, TRIM AND ACCESSORIES. NEW SINK SHALL BE SELF-RIMMING AND UNDERCOATED, WITH 1-1/2" CHROMED BRASS DRAINS, 3-1/2" INCH CRUMB CUPS AND TAILPIECES, AND RAISED FAUCET DECK DRILLED FOR TRIM. (DAYTON - MODEL D-23322 OR APPROVED EQUAL). PROVIDE NEW FAUCET TRIM WITH CHROME PLATED BRASS SUPPLY, 9" LONG SWING SPOUT, ADA COMPLIANT TWO LEVER BLADE HANDLES, DECK MOUNTED RETRACTABLE SPRAYER, AND TEMPERATURE LIMIT STOP. (DELTA MODEL 2400 OR APPROVED EQUAL). PROVIDE NEW CHROME PLATED BRASS P-TRAP WITH CLEAN-OUT PLUG AND ARM WITH ESCUTCHEON, AND NEW CHROME PLATED RIGID OR STAINLESS STEEL BRAID ENCLOSED SUPPLIES WITH WHEEL STOP. PERFORM ALL WORK IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.

**Hurst-Rosche, Inc.**  
PROFESSIONAL DESIGN NUMBER: 184-00298

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DATE  
11-30-2026

LICENSE EXPIRES

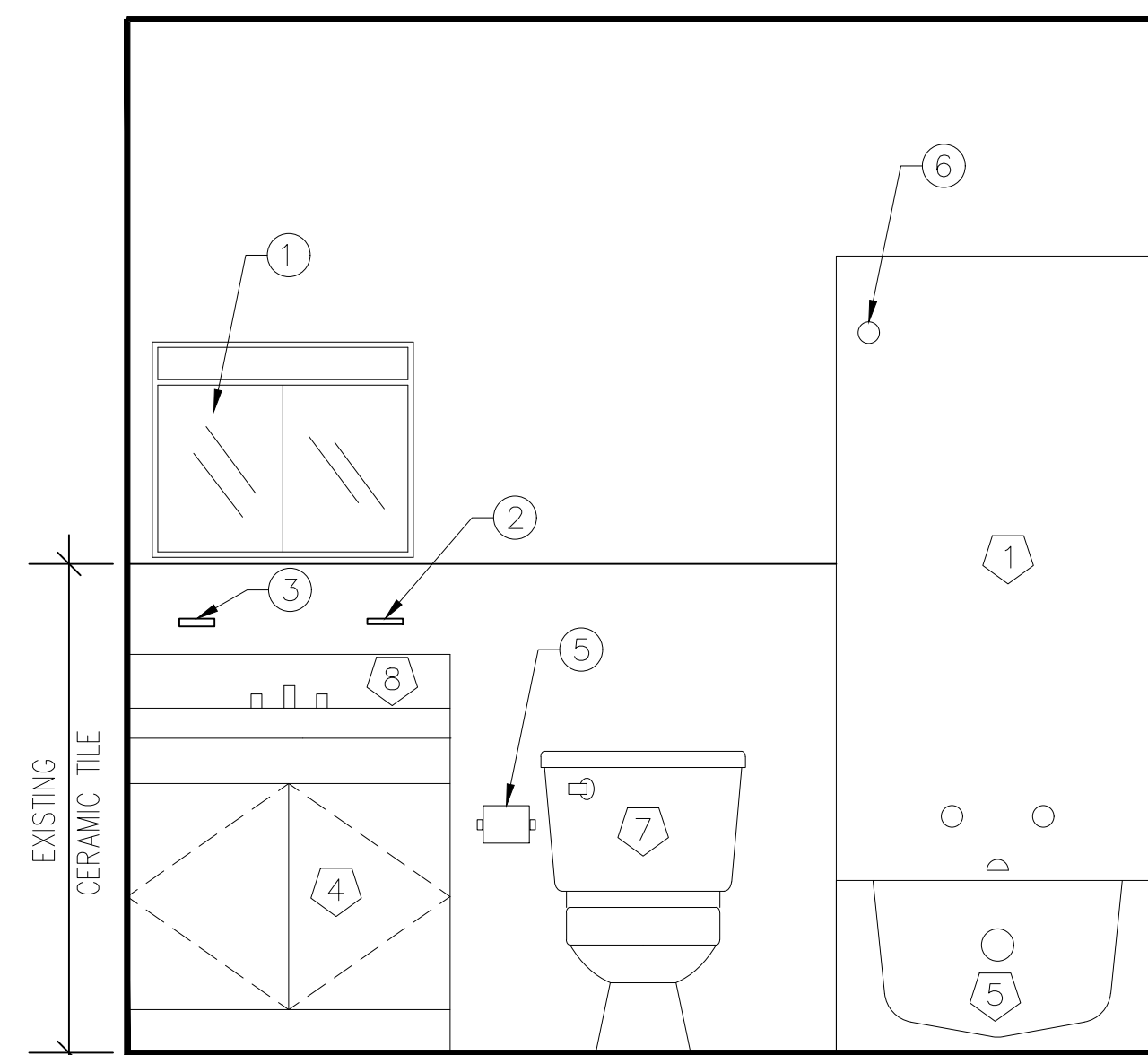
RAD RENOVATION SILVER CREEK MANOR  
 AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
 ST. CLAIR COUNTY HOUSING AUTHORITY  
 ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLV | DRAWN: JSM | CHECK: BGE

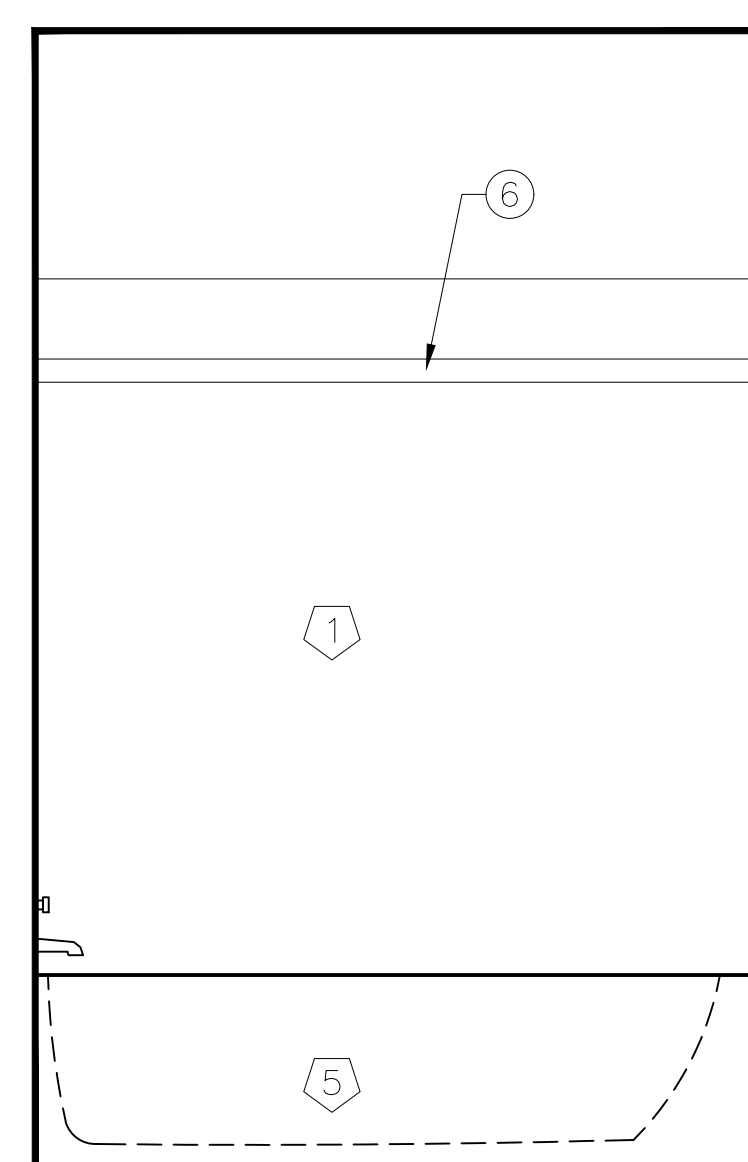
IL30-24 O'FALLON  
BUILDING TYPE "C"  
PLANS AND ELEVATIONS

**A106.1**



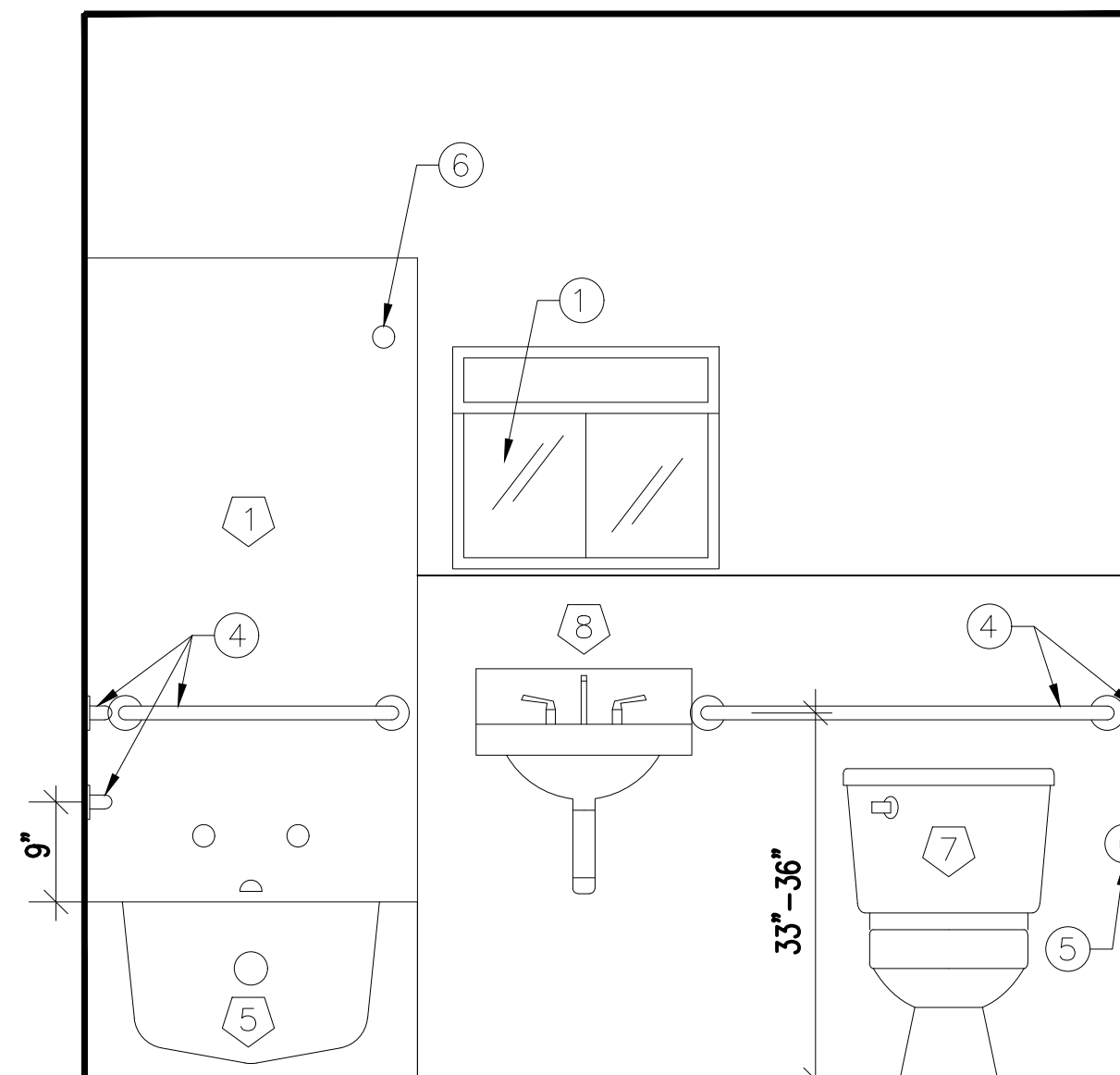
(UNITS: 808B, 808C, 808D)

**3 BATHROOM ELEV.**  
A106.2 SCALE: 3/4"=1'-0"



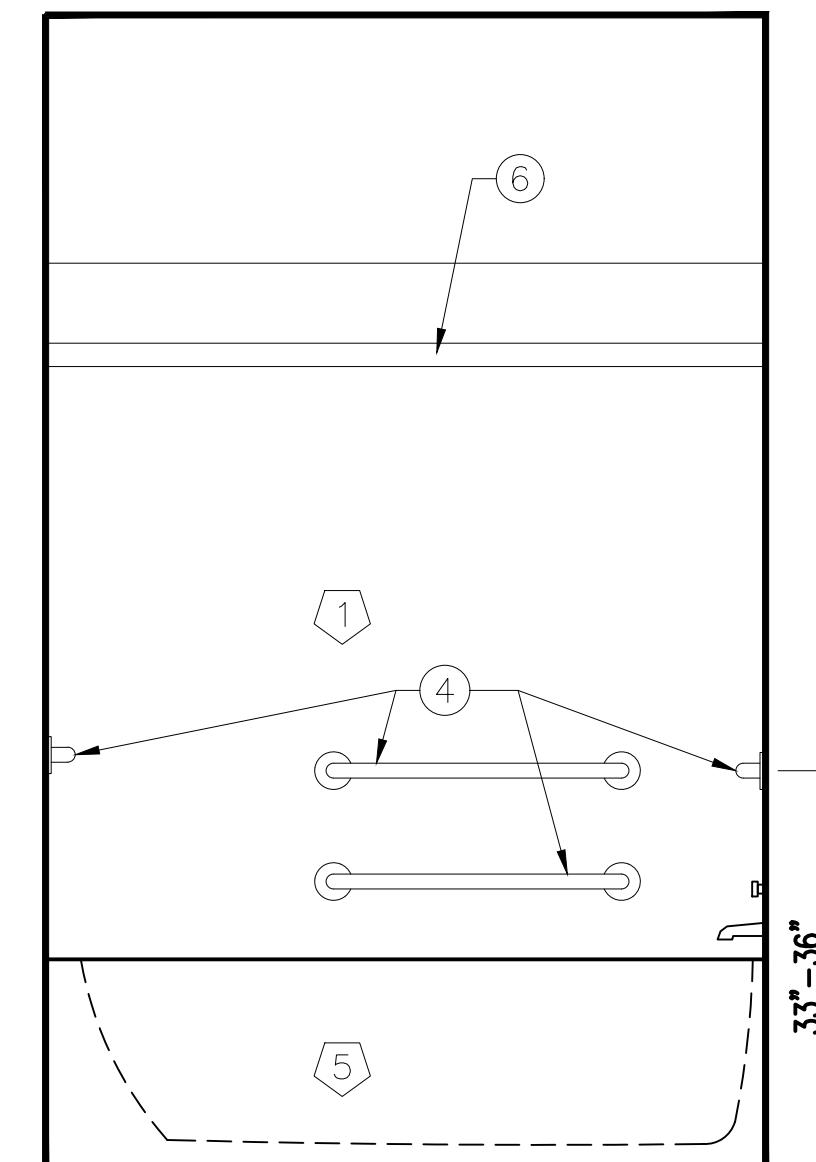
(UNITS: 808B, 808C, 808D)

**4 BATHROOM ELEV.**  
A106.2 SCALE: 3/4"=1'-0"



(UNITS: 808A)

**5 BATHROOM ELEV.**  
A106.2 SCALE: 3/4"=1'-0"



(UNITS: 808A)

**6 BATHROOM ELEV.**  
A106.2 SCALE: 3/4"=1'-0"

**TOILET/BATH KEY NOTES** #

- TUB/SHOWER SURROUND W/CORNER SHELVING - USE MILDEW RESISTANT SEALANT WHERE SURROUND MEETS GYPSUM BOARD. FIELD FABRICATE TUB/SHOWER SURROUND WITH FRP WALL PANELS, FULL HEIGHT TO CEILING. FRP PANELS SHALL BE NOMINAL 3/8" THICK, SMOOTH SURFACE, WHITE AS MANUFACTURED BY MARLITE OR APPROVED EQUAL. PROVIDE AND INSTALL ALL PVC MOLDINGS INCLUDING END CAPS, JOIN/DIVIDERS, AND CORNERS REQUIRED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION IN WET LOCATIONS. TRIM MOLDINGS SHALL SURROUND ALL PANELS AND BE PROPERLY SEALED WITH A CONTINUOUS BEAD OF CLEAR SILICONE SEALANT. PROVIDE ACCESSORY CORNER SHELF AT EACH INSIDE CORNER (QTY. 2) PER UNIT.
- LIGHT FIXTURE - COORD. WITH ELECTRICAL
- 4" BASE - COLOR AS SELECTED BY OWNER/ARCHITECT THROUGHOUT UNIT, TYPICAL.
- VANITY CABINET W/CULTURED MARBLE TOP W/INTEGRAL SINK.
- NEW TUB. - COORD. WITH PLUMBING
- ALUM./VINYL TRANSITION STRIP - 3/4" SEAM BINDER TRANSITION STRIP BY TRAFFICMASTER OR APPROVED EQUAL, THROUGHOUT UNIT, TYPICAL.
- NEW WATER CLOSET AS SPECIFIED AND SELECTED BY OWNER.
- NEW LAVATORY AS SPECIFIED AND SELECTED BY OWNER.



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xx-xx-2025  
DATE  
11-30-2026  
LICENSE EXPIRES

**TOILET/BATH ACCESSORIES SCHEDULE** #

#	ITEM	DESCRIPTION	MOUNTING (A.F.F.)	REMARKS
	M	WALL MOUNTED MIRROR (18" x 30")	40" TO BOTTOM	--
2	SD	SOAP DISH	40" TO TOP	--
3	CH	CUP HOLDER	40" TO TOP	--
4	TB	TOWEL BAR MOUNTED TO 1x4 WD BLOCKING (PAINTED)	48" TO BOTTOM	--
5	TTD	SURFACE MOUNTED TOILET TISSUE DISPENSER	21" TO CENTERLINE	--
6	SCR	SHOWER CURTAIN RODS WITH HOOKS	76" TO CENTERLINE	--
7	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--
8	GB	GRAB BAR - LENGTH NOTED	30" TO CENTERLINE 6" FROM CORNER	--

**TOILET/BATH ELEVATION GENERAL NOTES**

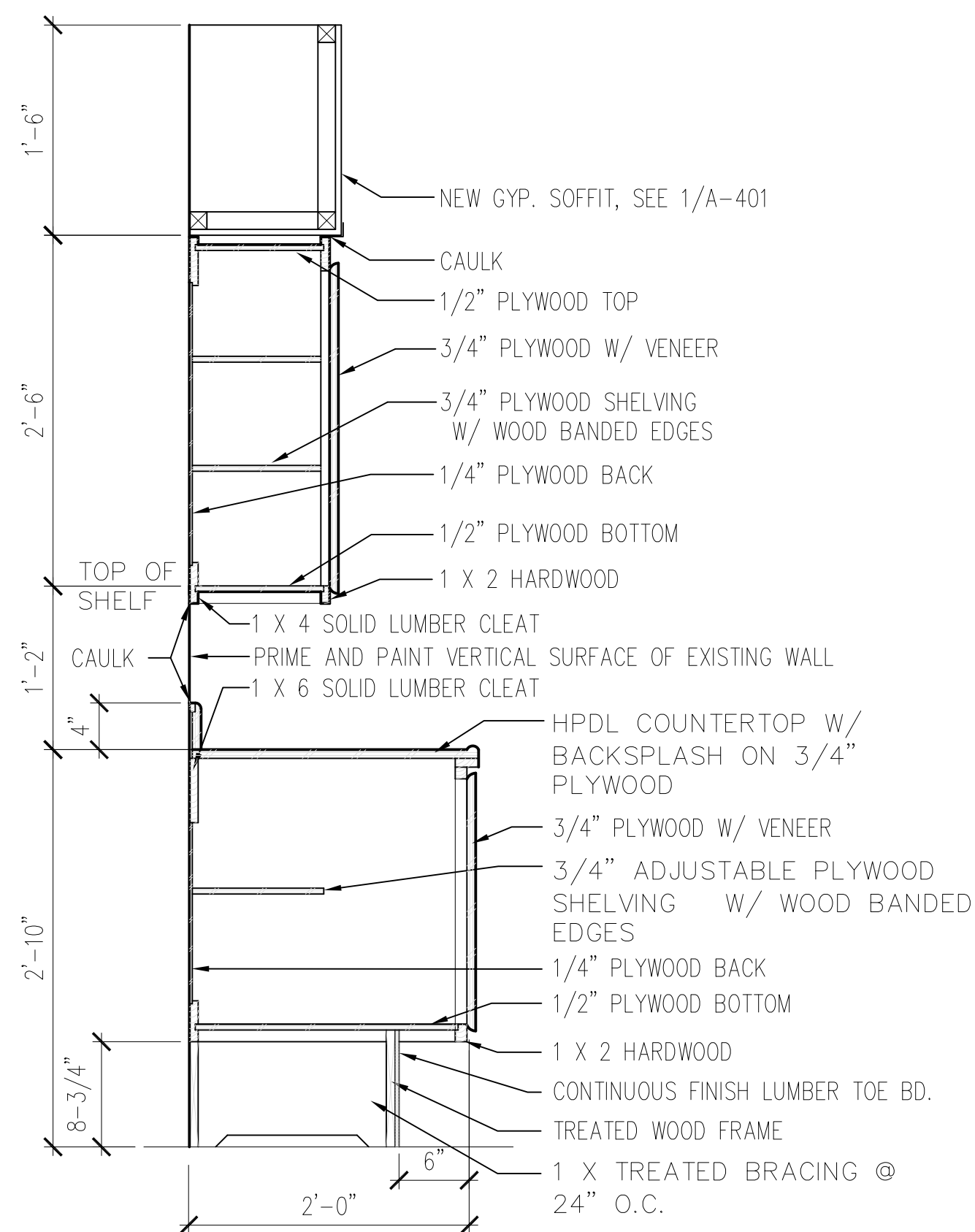
- COORDINATE ALL WORK WITH OWNER AND OTHER TRADES.
- PROVIDE BLOCKING IN WALLS FOR ANCHORING ALL ACCESSORIES WHERE REQUIRED IF NOT EXISTING.
- ADJUST MOUNTING HEIGHTS OR LOCATIONS OF ACCESSORIES TO AVOID CONFLICTS WITH PLUMBING AND ELECTRICAL FIXTURES. COORDINATE WITH ARCHITECT/ENGINEER IF SUCH CONFLICT SHOULD OCCUR.
- PRIME AND PAINT ALL GYPSUM BOARD AND CEILINGS. COLOR SHALL BE SELECTED BY OWNER/ARCHITECT.
- ALL SEALANT IN BATHROOMS AND TOILETS SHALL BE MILDEW RESISTANT.

RAD RENOVATION SILVER CREEK MANOR  
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ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

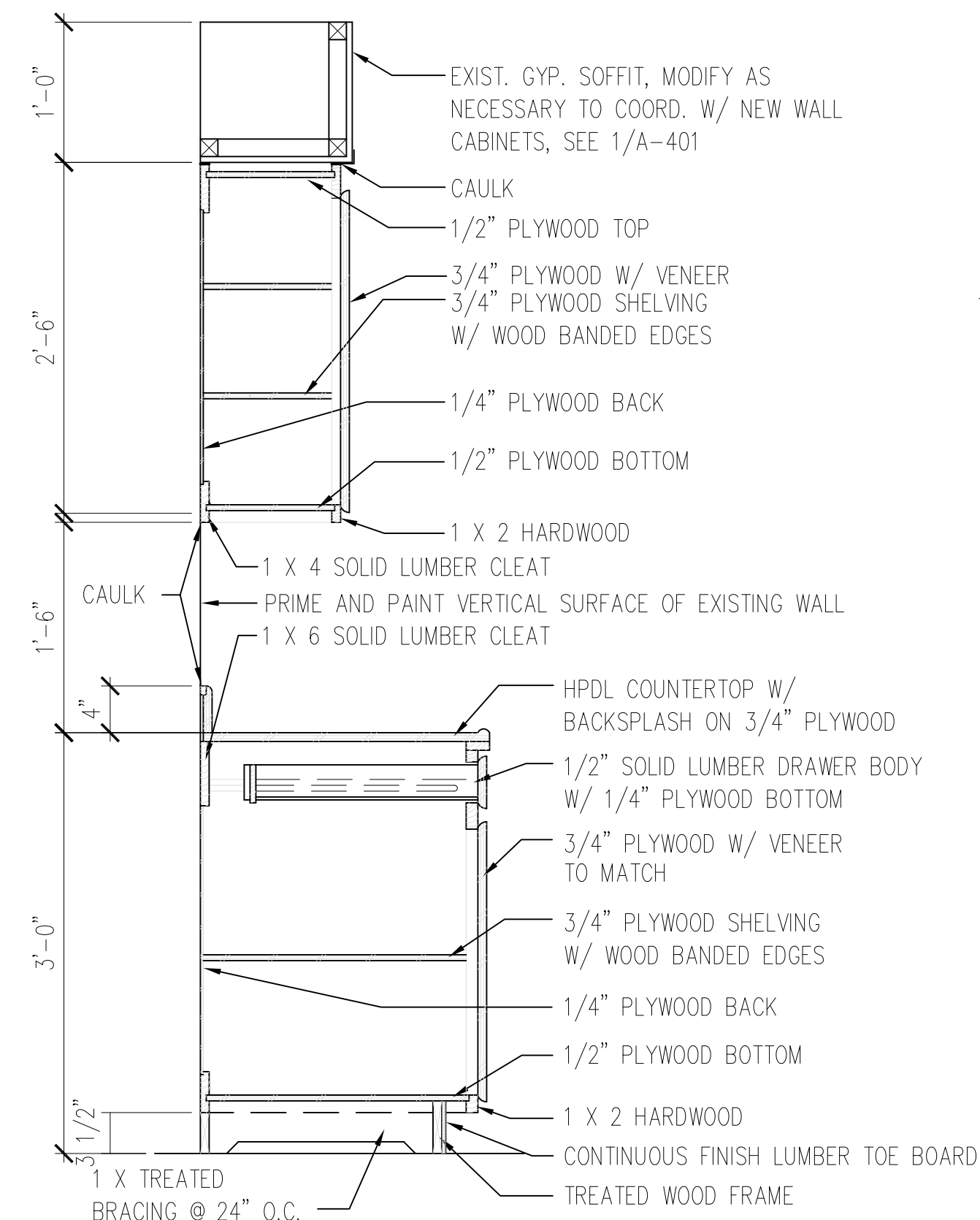
MRK.	DATE	DESCRIPTION

DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLV DRAWN: JSM CHECK: BGE  
IL30-24 O'FALLON  
BUILDING TYPE "C"  
PLANS AND ELEVATIONS

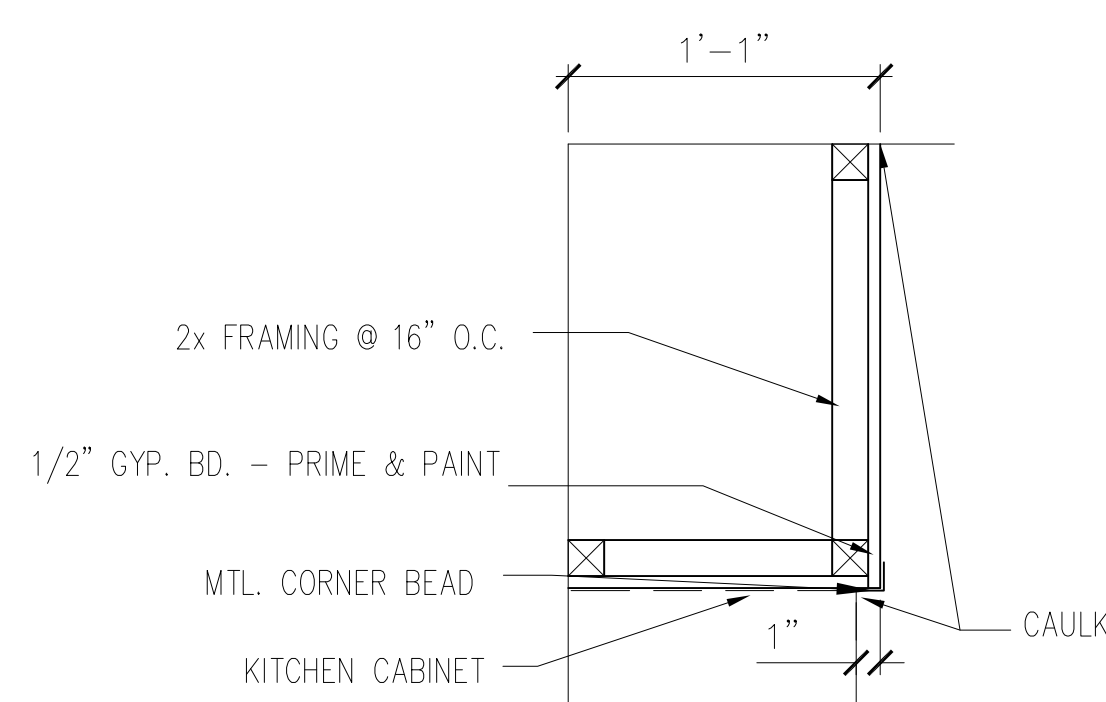
**A106.2**



1  
A-301  
TYP. ACCESSIBLE CASEWORK DETAIL  
SCALE: 1" = 1'-0" UNIT 205 SMITHTON ON A-104 ONLY



2  
A-301  
TYP. CASEWORK DETAIL  
SCALE: 1" = 1'-0"



3  
A-401  
TYP. SOFFIT DETAIL  
SCALE: 1-1/2" = 1'-0"

KITCHEN KEYED NOTES (#)

1. PREP. PRIME AND PAINT WALL SURFACE BETWEEN COUNTERTOPS AND WALL CABINETS.
2. NEW RANGE & RANGE HOOD. COORDINATE WITH MECHANICAL AND ELECTRICAL. SEE SPECIFICATION SECTION 11 31 00 FOR ADDITIONAL INFORMATION.
3. EXISTING GYP. SOFFIT TO REMAIN ABOVE WALL CABINETS.
4. SINK BASE CABINET.
5. 4" VINYL BASE. COLOR TO BE SELECTED BY PHA.
6. FINISH EXPOSED ENDS OF CABINET TO MATCH CABINET FRONT
7. FINISHED FILLER TO MATCH CABINET FINISH
8. WHITE POWDER-COATED STEEL GREASE SHIELD BEHIND RANGE AND BESIDE RANGE WHERE APPLICABLE.
9. UNDER CABINET LIGHT. COORDINATE W/ ELECTRICAL. INSTALL ON CABINET SURFACE.
10. REFRIGERATOR - SEE SPEC SECTION 11 31 00 FOR ADDITIONAL INFORMATION.

KITCHEN GENERAL NOTES

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11-30-2026  
LICENSE EXPIRES

RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION

DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLW DRAWN: JSM CHECK: BGE  
IL30-14 LEBANON & IL30-24 O'FALLON DETAILS

A-301



Hurst-Rosche, Inc.  
PROFESSIONAL DESIGN NUMBER: 154-000298

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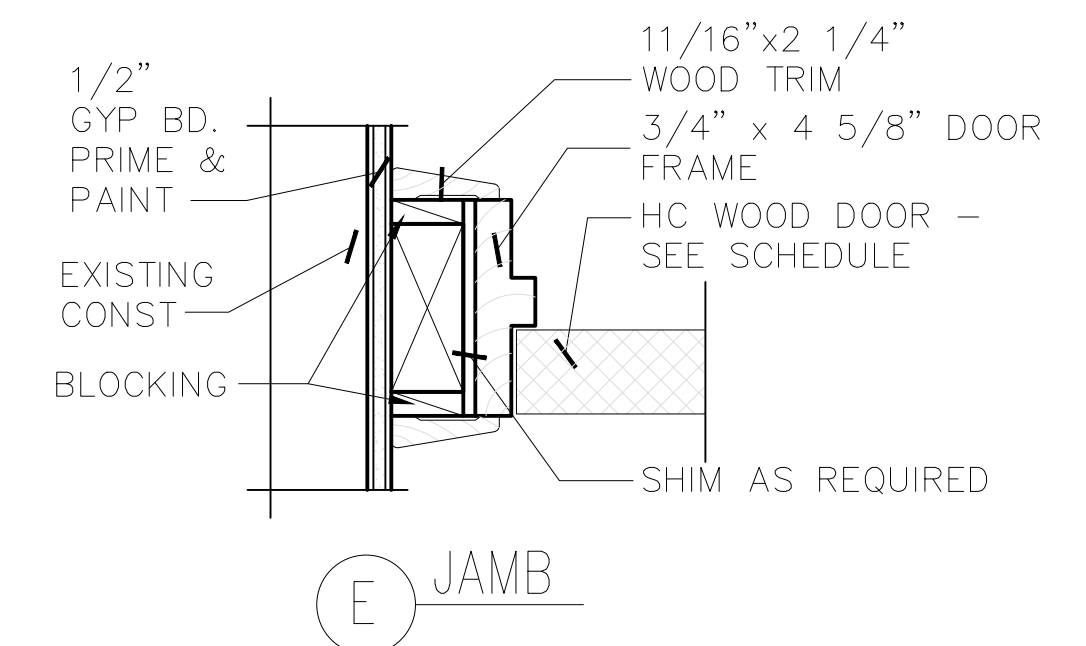
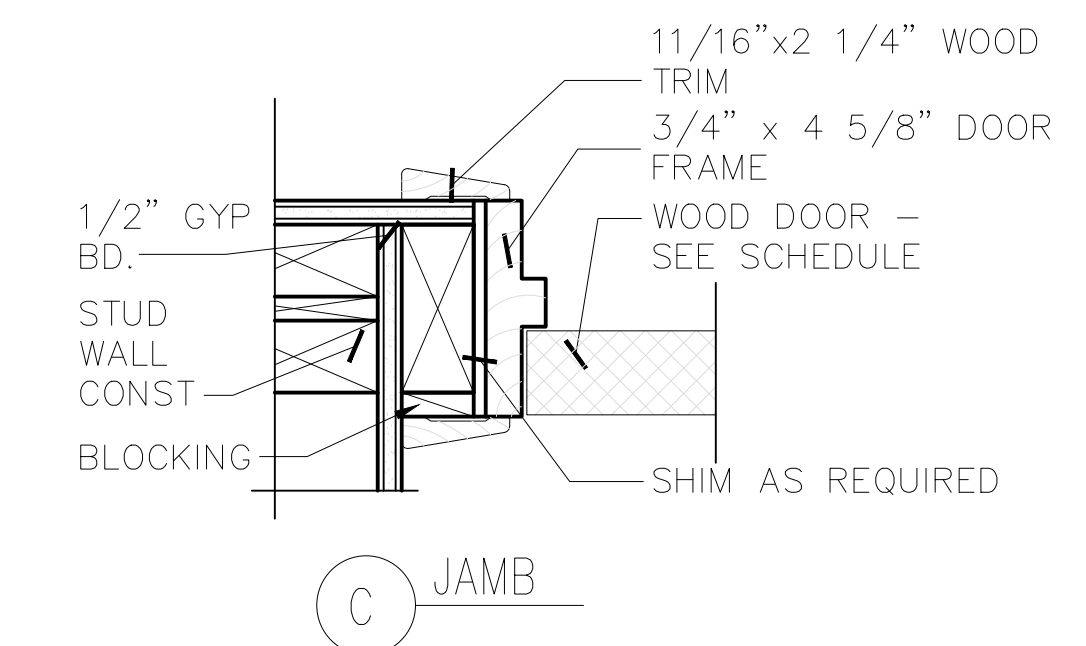
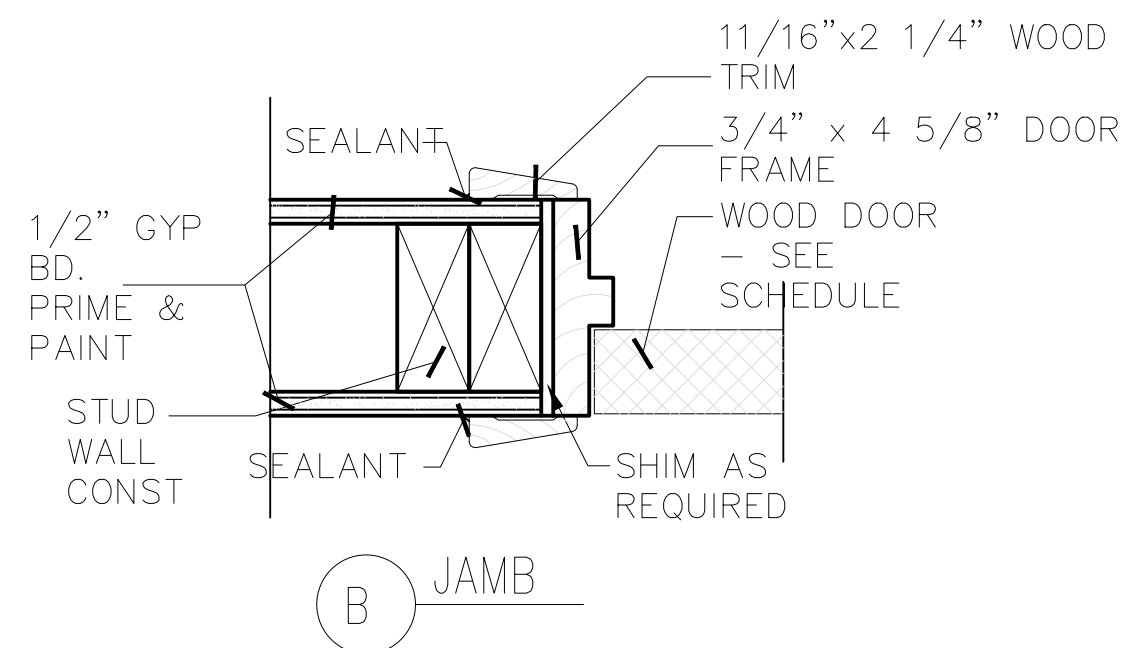
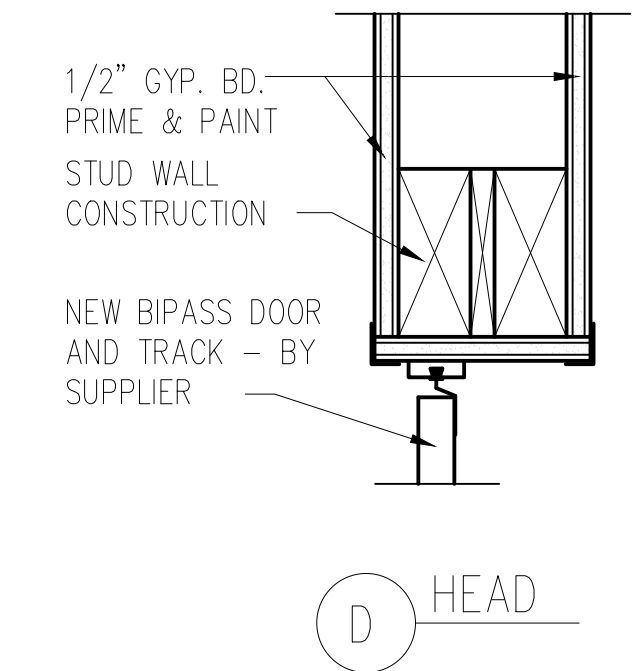
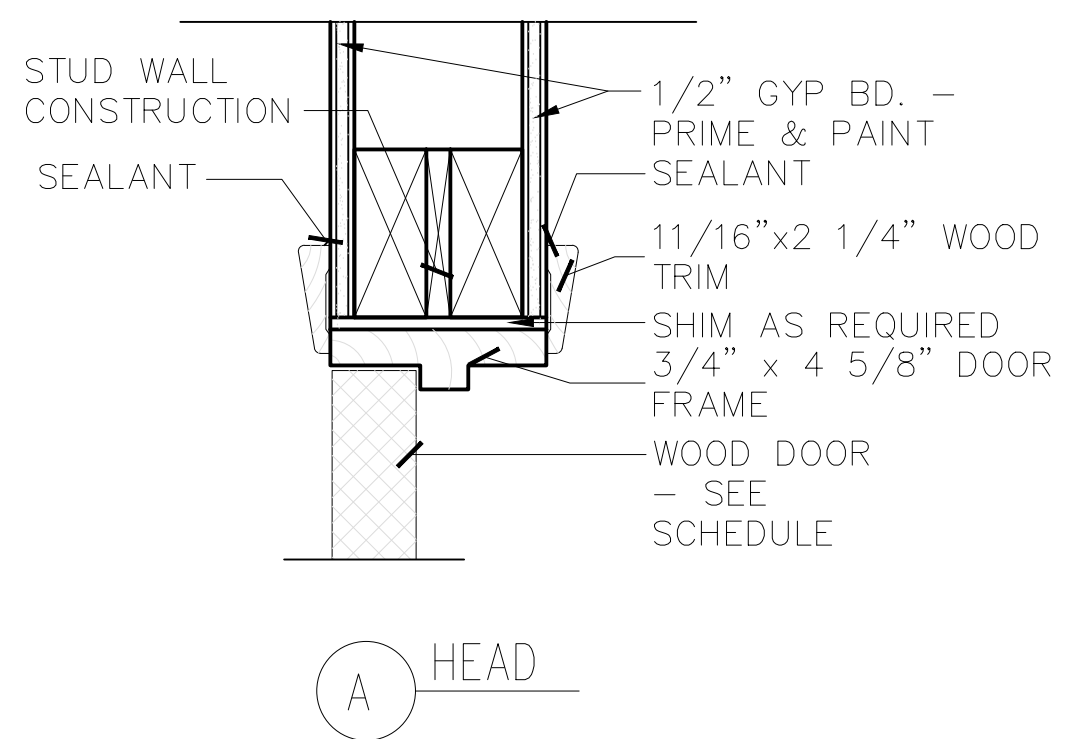
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AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS

MK.	DATE	DESCRIPTION
▲	4/22/25	ADDENDUM - 1

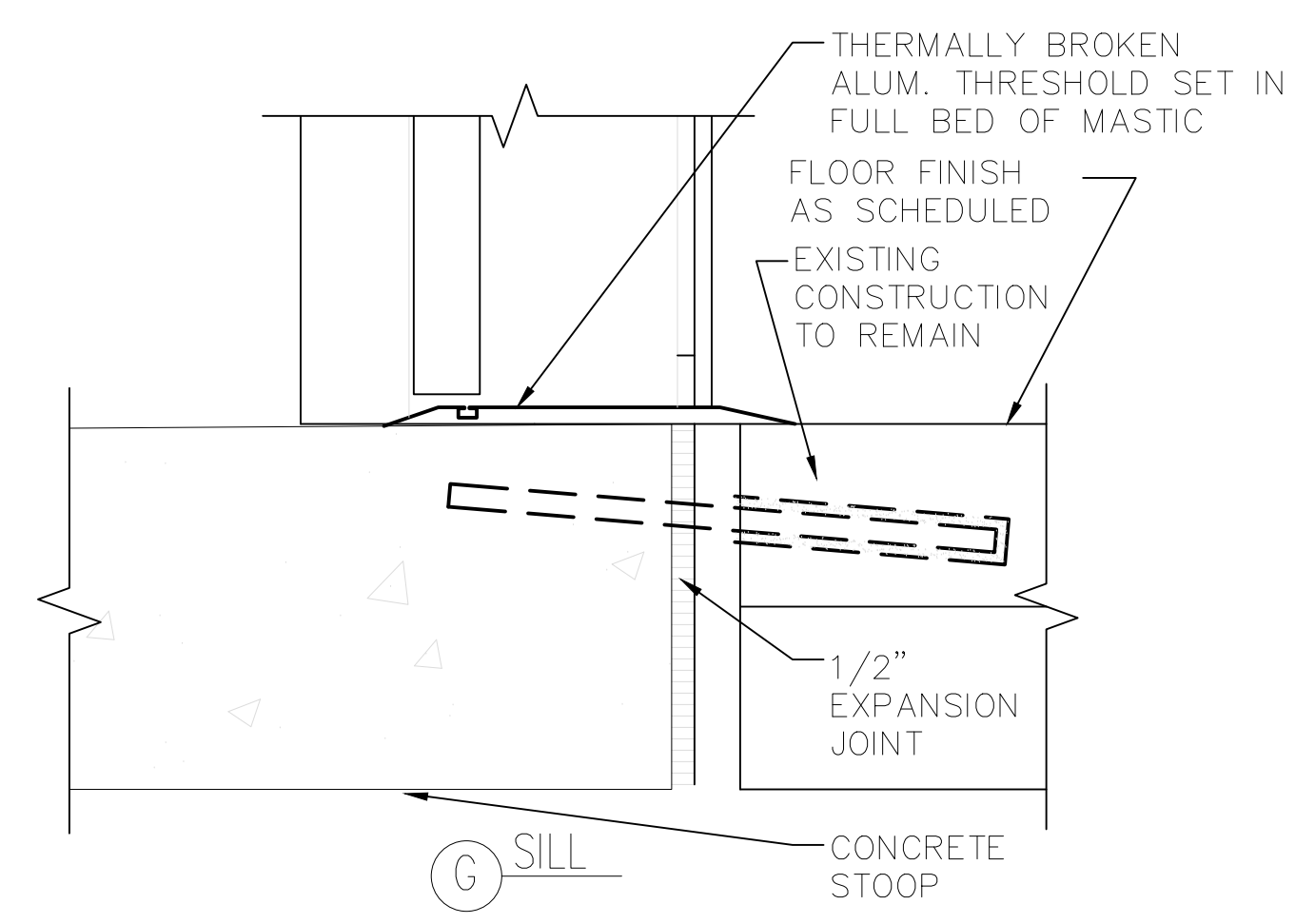
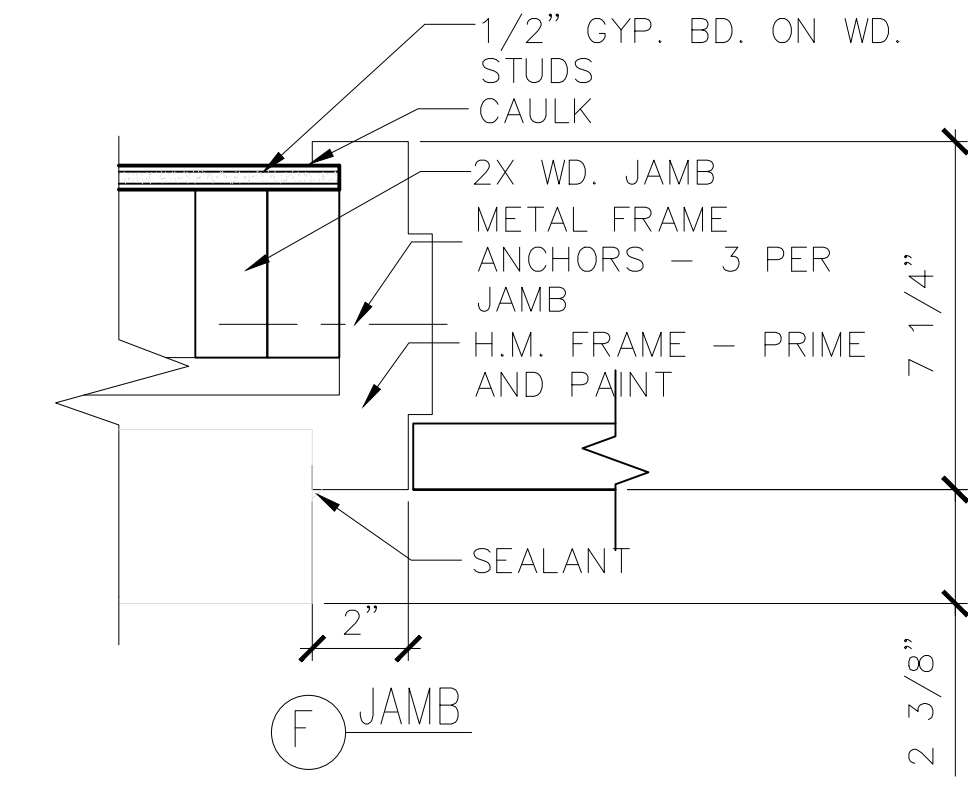
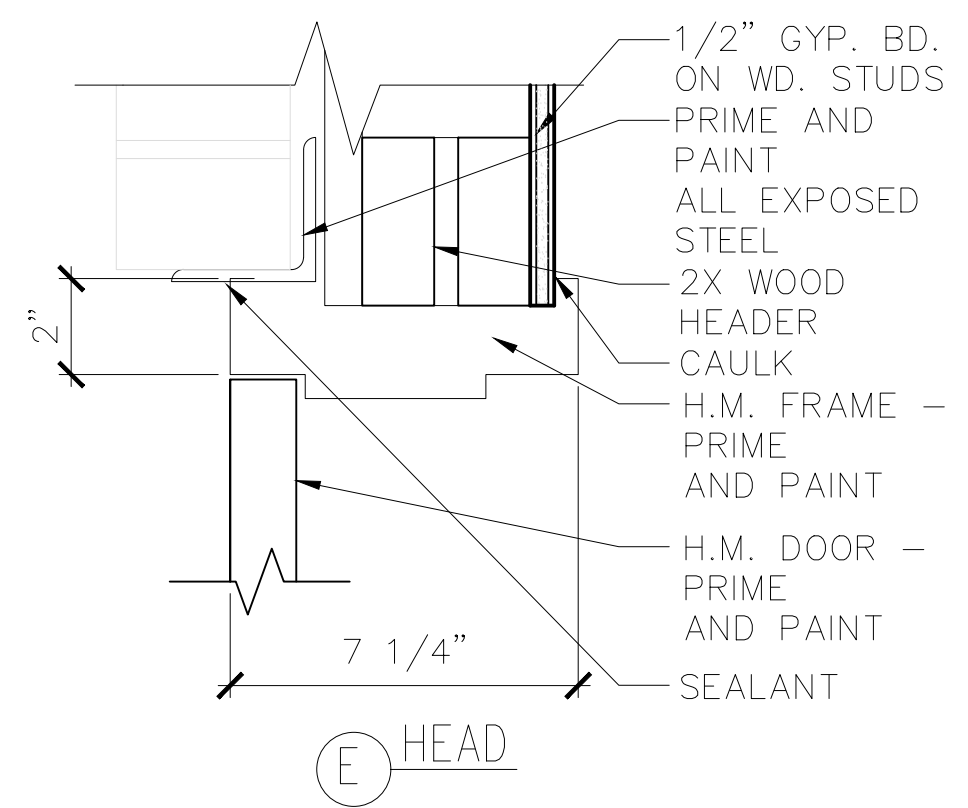
DATE: 04-14-2025  
PROJECT NO: 280-0385  
DESIGN: JLV    DRAWN: JSM    CHECK: BGE

IL30-14 LEBANON &  
IL30-24 O'FALLON  
DETAILS-DOORS

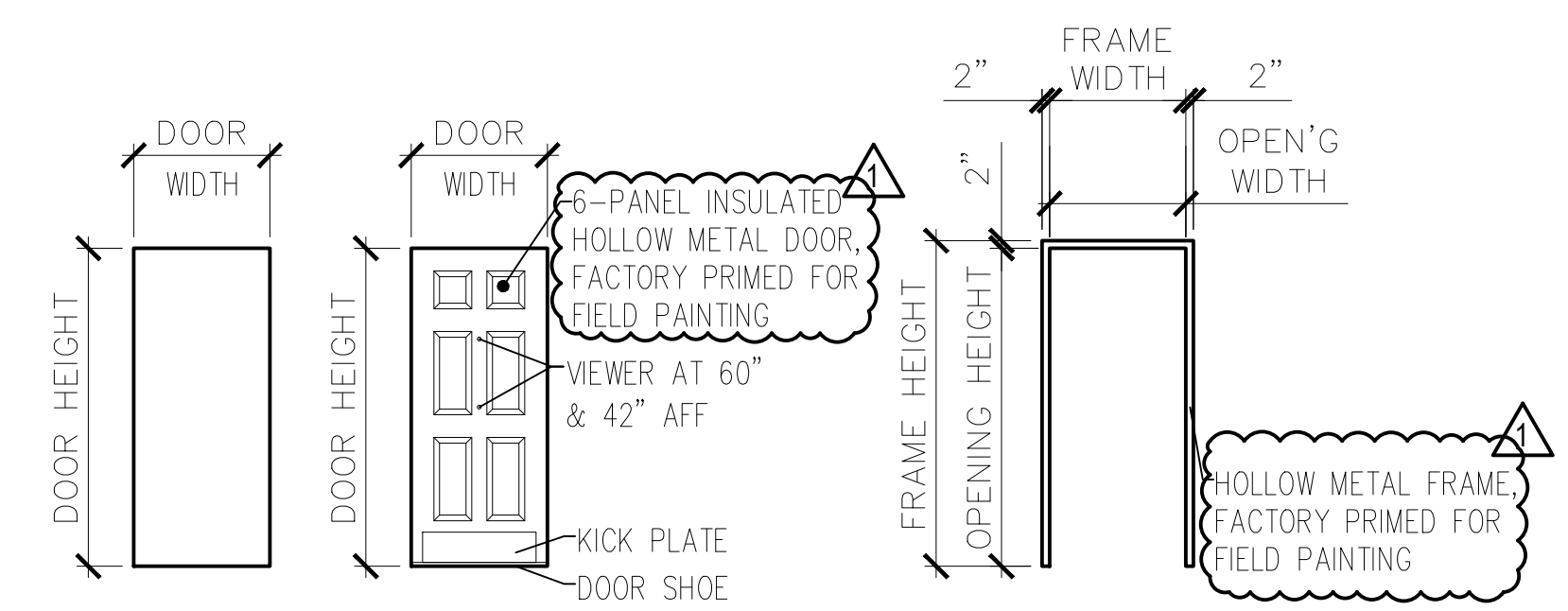
A-302



1 INTERIOR DOOR DETAILS  
A-302/SCALE: 1 1/2"=1'-0"



2 EXTERIOR DOOR DETAILS  
A-302/SCALE: 3"=1'-0"



3 DOOR AND FRAME ELEVATIONS  
A-302/SCALE: 1/4"=1'-0"



LIGHTING/RANGE HOOD SCHEDULE									
ID	MANUF.	MODEL #	VOLT	LAMPS	WATT /EA	TYPE	LOCATION	TYPE	REMARKS
A	LITHONIA	UCEL 24 IN 30K 90CRI SWR WH M6	120	LED	10	24" LED UNDERCABINET	KITCHEN	UNDER-CABINET	SURFACE MOUNT 2' LED OVER SINK, WHITE LENS W/ ROCKER SWITCH
B	AFX	BARV2403L30D1SN	120	LED	22	24" LED VANITY LIGHT	BATH	WALL	WALL MOUNT 2' LONG 26 WATT LED
C	AFX	LCL4100LASD1	120	LED	35	1'x4' LED CEILING	KITCHEN/DINING	CEILING	CEILING SURFACE MOUNTED LED W/ WRAP-AROUND ACRYLIC DIFFUSER
D	HALO	HCL9-12-940-1E-WK	120	LED	12	9" LED CEILING	BEDROOM/HALL	CEILING	9" CEILING SURFACE MOUNTED LED
RH	BROAN	BCSDQ W/ HPF FILTER	120	LED	8	30" LED 2-SPEED HOOD W/ FILTER	KITCHEN RANGE	UNDER-CABINET	WHITE, 2-SPEED FAN AND LED LIGHT W/ REMOTE WALL MOUNTED SWITCHES

**NOTES:**

1. FIXTURE MAKE/MODEL ARE THE PREFERRED MODEL SELECTED BY PHA. ANY FACTORY LINE CHANGES OR AVAILABILITY ISSUES SHALL REQUIRE AN 'EQUAL' FIXTURE TO BE SUBMITTED WITH THE CURRENT NOMENCLATURE FOR APPROVAL, AND MUST BE CONFIRMED BY PHA PRIOR TO FINAL ACCEPTANCE.

PLUMBING FIXTURE SERVICE SCHEDULE						
TAG	WASTE	TRAP	VENT	COLD	HOT	TEMPERED
WC	3"	INTEGRAL	2"	1/2"	--	--
LAV	1-1/2"	1-1/4"	1-1/4"	3/8"	3/8"	--
SK	1-1/2"	1-1/2"	1-1/4"	1/2"	1/2"	--
SH	2"	2"	1-1/2"	1/2"	1/2"	--
<b>TUB</b>	2"	2"	1-1/2"	1/2"	1/2"	--

**NOTES:**

- FIELD VERIFY ALL FIXTURE WATER SUPPLY, WASTE AND VENTING SIZES. MODIFY/EXTEND EXISTING PIPING TO NEW FIXTURE LOCATIONS.
- SUPPLY PIPING SHALL BE COPPER, AND DOMESTIC COLD AND HOT WATER PIPING SHALL BE INSULATED THROUGHOUT.
- SANITARY DWV PIPING SHALL BE SCHEDULE-40 PVC.

BATHROOM EXHAUST FAN SCHEDULE				
MARK	LOCATION	BROAN MODEL	CFM (MIN)	SONES (MAX)
<input checked="" type="checkbox"/> EF	BATHROOM	AE50110DCSL	100	0.9

**NOTES:**

- ACCEPTABLE ALTERNATE MANUFACTURERS: WHIRLPOOL, GE, KITCHEN-AID.
- UL LISTED FOR USE IN INSUL. CEILINGS AND DAMP LOCATIONS, COLOR WHITE.
- MOTOR TO BE PERMANENTLY LUBRICATED.
- PROVIDE ANY NECESSARY ADAPTERS AND RECONNECT TO EXISTING DUCTWORK.
- UNIT SHALL HAVE BACKDRAFT DAMPER.
- BATHROOM WALL LIGHT AND EXHAUST FAN SHALL BE SWITCHED SEPARATELY.

**SMOKE ALARM NOTES**

- REMOVE EXISTING AND PROVIDE NEW SMOKE ALARMS IN ALL BEDROOMS AND HALLS IN UNITS TO RECEIVE WORK. NEW SMOKE ALARMS IN HALLS SHALL BE COMBINATION SMOKE/CARBON MONOXIDE DETECTOR. EXISTING HARD-WIRED DETECTORS WHERE EXISTING SHALL BE REPLACED WITH NEW HARD-WIRED DETECTORS WITH 9V BATTERY BACKUP. NEW DETECTORS INSTALLED IN NEW LOCATIONS (BEDROOMS WITHOUT EXISTING DETECTORS) SHALL BE BATTERY POWERED WITH A SEALED, TAMPER-RESISTANT, LITHIUM BATTERY. FIELD VERIFY QUANTITY AND LOCATION.
- ALL DETECTORS SHALL MEET UL2034, UL217, NFPA72 & HUD REQUIREMENTS.
- ADA UNIT ONLY: PROVIDE NEW ADA SMOKE DETECTORS WITH HORN AND STROBES PROVIDE NEW STROBE VISIBLE ALARM DEVICE IN BATHROOM INTERCONNECTED TO EXISTING SMOKE ALARM SYSTEM.
- INSTALL NEW SMOKE ALARMS IN ACCORDANCE WITH LOCAL CODE AND/OR STATE REGULATIONS:
  - INSTALL NEW SMOKE ALARM TO MANUFACTURER'S WRITTEN SPECIFICATION TO PROVIDE A COMPLETE, FUNCTIONAL SYSTEM. UPON COMPLETION OF INSTALLATION LEAVE PRODUCT BOX WITH WRITTEN INSTRUCTIONS IN UNIT.
  - EXISTING SMOKE ALARMS IN UNITS SHALL BE REMOVED AND REPLACED WITH NEW SMOKE ALARMS AS INDICATED.
  - INSTALL NEW SMOKE ALARMS IN BEDROOMS AND HALLS AS INDICATED.
  - HARD-WIRED SMOKE ALARMS SHALL BE CONNECTED TO EXISTING POWER CIRCUIT. MODIFY AND EXTEND CONDUCTORS AS REQUIRED TO NEW SMOKE ALARM LOCATIONS. CONNECT TANDEM ALERT CIRCUIT TO ALL DETECTORS IN UNIT.
  - CONTRACTOR SHALL TEST EACH SMOKE DETECTOR FOR PROPER INSTALLATION.
  - UPON COMPLETION OF WORK CLEAN DEVICE AND LEAVE AREA CLEAN AND FREE OF DEBRIS.

**ELECTRICAL GENERAL NOTES**

- MODIFY/EXTEND EXISTING CIRCUIT AS NECESSARY TO INSTALL NEW ELECTRICAL DEVICES, FIXTURES, AND EQUIPMENT AS SHOWN AND/OR SPECIFIED..
- REPLACE EXISTING KITCHEN AND BATH RECEPTACLES LOCATED ABOVE COUNTERTOPS WITH NEW GFCI RECEPTACLES AND NEW COVER PLATES.
- REMOVE EXISTING AND PROVIDE NEW KITCHEN RANGE HOOD AT ALL UNITS TO RECEIVE NEW KITCHEN CASEWORK. SEE SCHEDULE THIS SHEET.
- AT ALL UNITS TO RECEIVE KITCHEN RENOVATIONS: REPLACE EXISTING CEILING MOUNTED LIGHT FIXTURES IN KITCHEN AND DINING AREAS WITH NEW LIGHT FIXTURE TYPE 'C' PER REVISED LIGHT FIXTURE SCHEDULE ON THIS SHEET. (QUANTITY 2 PER UNIT). REPLACE HALL AND BEDROOM FIXTURES WITH TYPE D FIXTURES.
- REMOVE EXISTING AND PROVIDE NEW BATHROOM CEILING EXHAUST FAN/LIGHT IN ALL UNITS TO RECEIVE BATHROOM RENOVATIONS. SEE SCHEDULE THIS SHEET.
- CONTRACTOR SHALL RELOCATE ALL ELECTRICAL ITEMS IN WALLS AND CEILINGS SCHEDULED TO BE DEMOLISHED ON "A" SHEETS., FIELD VERIFY QUANTITY AND LOCATION. COORDINATE WITH GENERAL WORK.
- LOCATIONS, SIZES, AND ITEMS SHOWN ARE BASED ON ORIGINAL DESIGN DOCUMENTS AND SITE OBSERVATION. CONTRACTOR SHALL VERIFY ALL EXG. CONDITIONS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL NOTIFY A/E OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL DISCOVERED CONDITIONS.
- DEVICES, EQUIPMENT, AND FIXTURE LOCATIONS AND QUANTITIES MAY VARY, AND MUST BE FIELD VERIFIED BY CONTRACTOR PRIOR TO WORK.
- EXG. CIRCUITS TO REMAIN SHALL BE TERMINATED IN THE NEAREST REMAINING BOX, AND EITHER CONNECTED AT EXG. LOCATION TO NEW DEVICES AND FIXTURES, OR SPLICED/EXTENDED FROM THERE TO THE NEW RECEPTACLE AND/OR OTHER CIRCUITS AS REQUIRED..
- ALL NEW BRANCH CIRCUITS SHALL BE CONCEALED IN WALL, CEILING, OR SOFFIT SPACE.
- ALL NEW CONDUCTORS TO BE MINIMUM #12 AWG COPPER UNLESS INDICATED OTHERWISE.
- CONTRACTOR SHALL PROTECT ALL ITEMS AND EXISTING SURFACES THAT ARE TO REMAIN.
- MODIFY EXG. CIRCUITS AND PROVIDE NEW CONDUCTORS AND CONNECT TO EXG. CIRCUITS AS REQUIRED FOR INSTALLATION OF NEW OR RELOCATED ELECTRICAL DEVICES, FIXTURES AND APPLIANCES.
- CONTRACTOR SHALL PROVIDE ELECTRICAL CONNECTIONS AT ALL NEW EQUIPMENT TO EXG. OR NEW CIRCUIT, AS REQUIRED. CONTRACTOR SHALL PROVIDE NEW CONDUCTORS IN FLEXIBLE METALLIC CONDUIT FROM EXISTING JUNCTION BOX OR DISCONNECT.
- CONTRACTOR SHALL VERIFY ELECTRICAL REQUIREMENTS FOR ALL NEW EQUIPMENT.
- CONTRACTOR SHALL DEMOLISH ALL OBSTRUCTIONS AS REQUIRED TO PERFORM NEW WORK, INCLUDING HOMERUN TO NEW CIRCUITS AND ANY REROUTING/REWIRING NECESSARY FOR RELOCATED CIRCUITS.
- REPLACE ALL EXISTING ELECTRICAL DEVICE PLATES AND BOX COVERS AT EXISTING WIRING DEVICES TO REMAIN (WALL SWITCHES, RECEPTACLES, JUNCTION BOXES).
- ALL GROUNDING SHALL BE DONE IN ACCORDANCE WITH N.E.C.

**PLUMBING GENERAL NOTES**

- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL WATER, SANITARY, VENT PIPING, VALVES, AND APPURTENANCES WITH RELATED EQUIPMENT, COMPONENTS AND DEVICES.
- ALL FIXTURES AND PIPING SHALL BE SIZED, VENTED AND TRAPPED IN ACCORD WITH THE STATE OF ILLINOIS PLUMBING CODE, CURRENT EDITION AND PLUMBING CODES ADOPTED BY THE HOUSING AUTHORITY, CURRENT EDITIONS.
- FOR CLARITY ON PLANS, VENT PIPING IS NOT SHOWN. CONTRACTOR SHALL GROUP VENT PIPING AND ROUTE TO V.T.R.(S) AS REQUIRED.
- PIPING IN THE MECHANICAL ROOMS MAY BE ROUTED EXPOSED. PIPING IN ALL OTHER AREAS SHALL BE CONCEALED IN CHASE, WALLS, CEILING, FLOORING, ETC. UNLESS INDICATED OTHERWISE.
- REFER TO PLUMBING FIXTURE SERVICE SCHEDULE ON THIS SHEET FOR WASTE, VENT, AND SUPPLY SIZES AT INDIVIDUAL FIXTURES.
- CONTRACTOR TO PROVIDE QUARTER-TURN, BALL VALVE TYPE SUPPLY STOP SHUT-OFF VALVES AND AIR CHAMBERS ON ALL PLUMBING FIXTURE WATER SUPPLY LINES AND BALL VALVES FOR EACH DEVICE OR EQUIPMENT WATER SUPPLY LINE.
- CONTRACTOR SHALL PROVIDE SHUT-OFF VALVES AT THE BASE OF ALL WATER SUPPLY RISERS.
- CONTRACTOR SHALL COORDINATE ALL WORK REQUIRED WITH ALL OTHER DRAWINGS IN THIS SET.
- CONTRACTOR SHALL MODIFY/PREPARE EXG. CONNECTION POINTS, PIPING, SURROUNDING AREA, ETC., AT ALL LOCATIONS WHERE EXG. EQUIPMENT OR DEVICES ARE INDICATED TO BE REMOVED AND REPLACED WITH NEW EQUIPMENT OR DEVICES AS REQUIRED TO PROVIDE A COMPLETE, CODE COMPLIANT INSTALLATION OF THE NEW EQUIPMENT OR DEVICE.
- COORDINATE DEMOLITION OF EXISTING AND INSTALLATION OF NEW PIPING, FIXTURES, AND EQUIPMENT WITH ALL OTHER WORK.
- CONTRACTOR SHALL PROTECT ALL EXISTING MATERIALS, EQUIPMENT, PIPING, FINISHES, ETC. TO REMAIN FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL RESTORE ANY AND ALL DAMAGE CAUSED BY DEMOLITION TO A CONDITION AND FINISH THAT IS AT LEAST EQUAL TO THAT WHICH EXISTED BEFORE DEMOLITION BEGAN.



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SIGNATURE

xx-xx-2025

DATE

11-30-2026

LICENSE EXPIRES

**RAD RENOVATION SILVER CREEK MANOR  
AMP 5; IL30-14 LEBANON AND IL30-24 O'FALLON  
ST. CLAIR COUNTY HOUSING AUTHORITY  
ST. CLAIR COUNTY, ILLINOIS**

MK.	DATE	DESCRIPTION

DATE: 04-14-2025

PROJECT NO: 280-0385

DESIGN: JLJ    DRAWN: JSM    CHECK: BGE

IL30-14 LEBANON &  
IL30-24 O'FALLON  
ELECTRICAL & PLUMBING  
NOTES & SCHEDULES

**EP-001**